

**Approval of the Development Plan for  
Urban Development Area of Balangoda**

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I, Mahinda Rajapaksa, Minister of Defence and Urban Development do hereby approve the Development Plan for Balangoda Urban Development Area, having considered the recommendations made by the Board of Management of Urban Development Authority on 09.10.2013, by the virtue of the powers vested with me under Section 8f of the Urban Development Authority (Amendment) Act No. 4 of 1982.



.....  
**Mahinada Rajapaksa**  
**Minister of Defence and Urban Development**

Ministry of Defence and Urban Development  
No. 15/5,  
Baladaksha Mawatha,  
Colombo 03.

19.05.2014...

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**PART I : SECTION (I) — GENERAL**

**Government Notifications**

**APPROVAL OF THE DEVELOPMENT PLAN FOR KALMUNAI MUNICIPAL COUNCIL**

PUBLIC are hereby informed that the Development Plan prepared under Section 8A of the Urban Development Authority (Amendment) Act, No. 4 of 1982, for the Urban Development Area of Kalmunai Municipal Council has been approved on 19th May 2014, by Hon. Mahinda Rajapaksa, Minister of Defence and Urban Development by virtue of powers vested on him under Section 8 "F" of the said Amendment Act.

NIMAL PERERA,  
Chairman,  
Urban Development Authority.

03rd June 2014.

**Approval of Development Plan for Kalmunai Municipal Council Area**

I, Mahinda Rajapaksa, Minister of Defence and Urban Development, do hereby approve the development plan for the Kalmunai Municipal Council area having considered the recommendations made by the board of Management of the Urban Development Authority on 09.10.2013, by virtue of the powers vested in me under Section 8 F of the Urban Development Authority (amended) Act, No. 04 of 1982.

MAHINDA RAJAPAKSA,  
Minister of Defence and  
Urban Development.

Ministry of Defence and Urban Development,  
No. 15/ 5, Baladaksha Mawatha,  
Colombo 03.  
19th May 2014.

07-207/1



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1A

**APPROVAL OF THE DEVELOPMENT PLAN FOR BATTICOLOA MUNICIPAL COUNCIL**

PUBLIC are hereby informed that the Development Plan prepared under Section 8A of the Urban Development Authority (Amendment) Act, No. 4 of 1982, for the Urban Development Area of Batticaloa Municipal Council has been approved on 19th May 2014, by Hon. Mahinda Rajapaksa, Minister of Defence and Urban Development by virtue of powers vested on him under Section 8 "F" of the said Amendment Act.

NIMAL PERERA,  
Chairman,  
Urban Development Authority.

03rd June 2014.

**Approval of the Development Plan for Batticaloa Municipal Council Area**

I, Mahinda Rajapaksa, Minister of Defence and Urban Development, do hereby approve the development plan for the Batticaloa Municipal Council area having considered the recommendations made by the board of Management of the Urban Development Authority on 09.10.2013, by virtue of the powers vested in me under Section 8 F of the Urban Development Authority (amended) Act, No. 04 of 1982.

MAHINDA RAJAPAKSA,  
Minister of Defence and  
Urban Development .

Ministry of Defence and Urban Development,  
No. 15/ 5, Baladaksha Mawatha,  
Colombo 03.  
19th May 2014.

07-207/2

**APPROVAL OF THE DEVELOPMENT PLAN FOR BALANGODA URBAN COUNCIL**

PUBLIC are hereby informed that the Development Plan prepared under Section 8A of the Urban Development Authority (Amendment) Act, No. 4 of 1982, for the Urban Development Area of Balangoda Urban Council has been approved on 19th May 2014, by Hon. Mahinda Rajapaksa, Minister of Defence and Urban Development by virtue of powers vested on him under Section 8 "F" of the said Amendment Act.

NIMAL PERERA,  
Chairman,  
Urban Development Authority.

03rd June 2014.

**Approval of the Development Plan for Urban Development Area of Balangoda**

I, Mahinda Rajapaksa, Minister of Defence and Urban Development, do hereby approve the development plan for Balangoda Urban Development Area, having considered the recommendations made by the board of Management of Urban Development Authority on 09.10.2013, by the virtue of the powers vested with me under Section 8 F of the Urban Development Authority (amended) Act, No. 4 of 1982.

MAHINDA RAJAPAKSA,  
Minister of Defence and  
Urban Development .

Ministry of Defence and Urban Development,  
No. 15/ 5, Baladaksha Mawatha,  
Colombo 03.  
19th May 2014.

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## **PREFACE**

Balangoda Urban Council is situated in the Ratnapura District, Sabaragamuwa Province. It is situated 1000 feet above mean sea level with attractive landscape and pleasant climate. The objectives of this development plan is to provide essential service centre for agricultural improvement and to minimize the natural disasters for the development of residential urban area. Due to its location, there are a number of water streams found in this area.

Having considered all the above facts, necessary steps have been taken to minimize the disaster and to develop the area in a planned manner.

## **ACKNOWLEDGEMENT**

The Planning Team of Urban Development Authority, Ratnapura District Office in Sabaragamuwa Province is grateful to the following institutions along with the UN-Habitat for their coordination, for providing necessary technical equipment and for their support in successfully conducting the stakeholder meetings regarding the development plan. At this moment we are extremely thankful to Plnr. Indu Weerasoori Project Manager of DRR and her team and Mr. Manju Pradeep Widanagamarachchige DRR Projects Office for their help at various stages of this Balangoda Development Plan for the support given by them in the preparation of this plan.

- Balangoda Urban Council
- Balangoda Divisional Secretariat
- National Physical Planning Department
- Road Development Authority
- Ceylon Electricity Board
- National Water Supply and Drainage Board
- Archeology Department
- Ministry of Health
- Provincial Council (Sabaragamuwa Province) and Ministries
- Central Environmental Authority
- Census and Statistics Department
- Postal Department

The Team would like to express the gratitude to the Chairman, Director General and Development Planning Division of the Urban Development Authority for the immense encouragement and support given to prepare and finalized of this plan.

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## **CHAPTER ONE**

### **1.0 Introduction**

Balangoda Development Plan aims to bring about a sustainable planned physical development of the area by taking into consideration the available potentials and put them in an orderly manner and proper management in order to find the solutions for existing problems and weaknesses, as well as resource management for future requirements and it is proposed to implement this plan during the period of 2013 – 2033.

### **1.1 Vision**

To develop the Balangoda urban area as the agro service centre for agro feeder areas in the Ratnapura District and to develop the town as a residential town without disasters.

### **1.2 Development Concept**

Balangoda town is a 3<sup>rd</sup> order town in Sabaragamuwa province as well as a 2<sup>nd</sup> order town in Ratnapura district. The town development has to be carried out methodically with special attention to the factors such as, the development trends in the area, geographical diversity and the disasters which could not be avoided. Specially, this town is located in the central fragail area, the development should be done protecting the environmental balance of the area.

1. When consider the existing development trends, the urban activities are limited to the Balangoda town centre and same trend will be further continued and the urban activities will be concentrated in the same locality due to the existing infrastructure facilities. Considering the development potentials in the town centre it is suitable to develop Balangoda urban area under the concept of concentric theory by centralizing the Balangoda town centre.
2. Since the trend to set up the small scale service centres is low in the urban area, it is suitable to develop residential activities in the outer area of the town centre in an orderly manner. Since the town is developed along the four main roads, it is proposed in this plan to develop the inner road network connecting the main roads and thereby provide the good accessibility to the residential activities outside the urban area.

3. When developing the Balangoda town as a agro service centre for the feeder area, improvement of inter connections with the service centres located out side the urban area is essential.
4. In order to maintain a good integration with the Balangoda town, the roads which connect the small scale residential centres in the urban area such as Weligepola, Kaltota, Udawela, Pambahinne, Pinnawela and Rassagala have to be developed on a priority basis.
5. The wholesale market which is constructed in the town, satisfy the requirements of the next decade, thereby it is confirmed in this Plan to further use of this building for the agro economic development activities. Also it is proposed in this plan to further develop the existing Agrarian service centre to provide agro consultancy services.
6. It is proposed to adjust the land use structure of the area in this plan in order to provide an integrated development of social, economic and environmental sectors. Accordingly, it is expected to implement the new town development programme and to bring the bus stand to the identified location in the new town as well as to construct the Dorawela by-pass road to minimize the traffic congestion in the town centre and thereby expand the town centre.

The Development Plan consists of the following items.

1. Zoning Plan
2. Infrastructure Services Development Plan
3. Environment and Landscape Plan
4. Common Open space and Recreation activity area Plan
5. Environment Plan / Disaster Mitigation Plan

### 1.3 Objectives and Strategies

**Table No. 01**

<b>Objectives</b>	<b>Strategies</b>
1. Fulfill the demand for lands for future development.	<ul style="list-style-type: none"><li>• Zoning of land based on the future requirement.</li><li>• Take action to expand the urban area.</li><li>• Introduction of densities for different types of development areas.</li></ul>
2. Improvement of life standard of the residences of the area.	<ul style="list-style-type: none"><li>• Identification of residential uses and the other requirements of the public through the zoning plan and preparation of specifications accordingly.</li><li>• Regularize the development through zoning specifications.</li></ul>
3. Establishment of sports and recreational activities to suit the people in the area as well as for the commuter population.	<ul style="list-style-type: none"><li>• Location of parks and playgrounds and open spaces for easy access to the public and introduce separate zones for such uses. (by the Leisure and Recreational Activity Plan)</li></ul>
4. Increase the job opportunities in the service and commercial sector within the town for the people in the urban area and the feeder areas.	<ul style="list-style-type: none"><li>• Expand the areas for establishment of commercial services and industries.</li></ul>
5. Protection of environmental sensitivity and the natural beauty of the urban area.	<ul style="list-style-type: none"><li>• Identification reservations for rivers, water ways and irrigation canals which run through the town and maintain the same and development of linear parks. (through Disaster Mitigation Plan)</li></ul>
6. Take action to maintain an efficient transport network in order to develop integration with the sub centres.	<ul style="list-style-type: none"><li>• Introduction of Road and Transport Plan and widening of roads accordingly.</li><li>• Introduction of new roads and introduction of Traffic Management Plan in view of minimizing the traffic congestion.</li></ul>

Objectives	Strategies
7. Minimize the hazards due to natural disasters	<ul style="list-style-type: none"> <li>• Identification of disaster zones and introduction of strategies to preserve such areas.</li> <li>• Introduction of regulations for development activities in disaster zones.</li> <li>• Introduction of Disaster Management Plan</li> </ul>

#### 1.4 Proposals for Implementation of Strategies

In order to achieve the objectives and strategies given in the above Table 01, the common infrastructure facilities, residential and economic development activities are proposed to moved to the suitable areas for physical development.



## **CHAPTER TWO**

### **2.0 Proposed Sub Plans**

#### **2.1 Zoning Plan**

The proposed zoning plan is prepared based on the problems and potentials of land use identified in the situational analysis, in view of providing infrastructure facilities easily to the people of the area as well as for the investors.

When reserve zones for residential uses, the main factors such as environmental, economic and health conditions suitable for residential use have been considered. The areas which are presently developed as mixed development and the residential areas which have a possibility to further develop as a commercial and mix development in the future have been identified as Mixed Residential Zone.

A separate zone has been established for government and other institutional activities. In addition provisions have been made to locate government and semi government institutions in the mixed residential zone.

The space has been increased for leisure and recreational activities for the benefit of the urban population, which is presently at a lower level.

The steep slopes have been reserved for agricultural activities and thereby increase the beauty of the town as well as protect the environmental balance of the area.

Paddy cultivation zones have been reserved to maintain the drainage system of the town properly and to improve the environmental beauty of the town.

##### **2.1.1 Factors Based on Zoning**

The following factors have been considered when prepared the zoning plan for the future requirements of the Balangoda town.

1. Existing land use.
2. Existing crops and the crops which could be preserved and low lands.
3. Soil condition.
4. Projected population in 2030 has been calculated as 29917 based on the average annual growth rate of 1.7 considering the present population growth rate and the feature growth trends and effects.

5. Infrastructure service facilities and distribution.
6. Minimum of 10% of the land have to be used for community and public activities.

### 2.1.2 Proposed Zones

Considering the problems and potentials of the Balangoda urban area, the following land use zones have been proposed to fulfill future requirements of the area.

- Primary Residential Zone
- Mixed Residential Zone
- Commercial Zone
- Institutional Zone
- Reservation Zone
- Environmental Sensitive Zone

**Table No. 02**

**Estimated Land use Pattern - 2033**

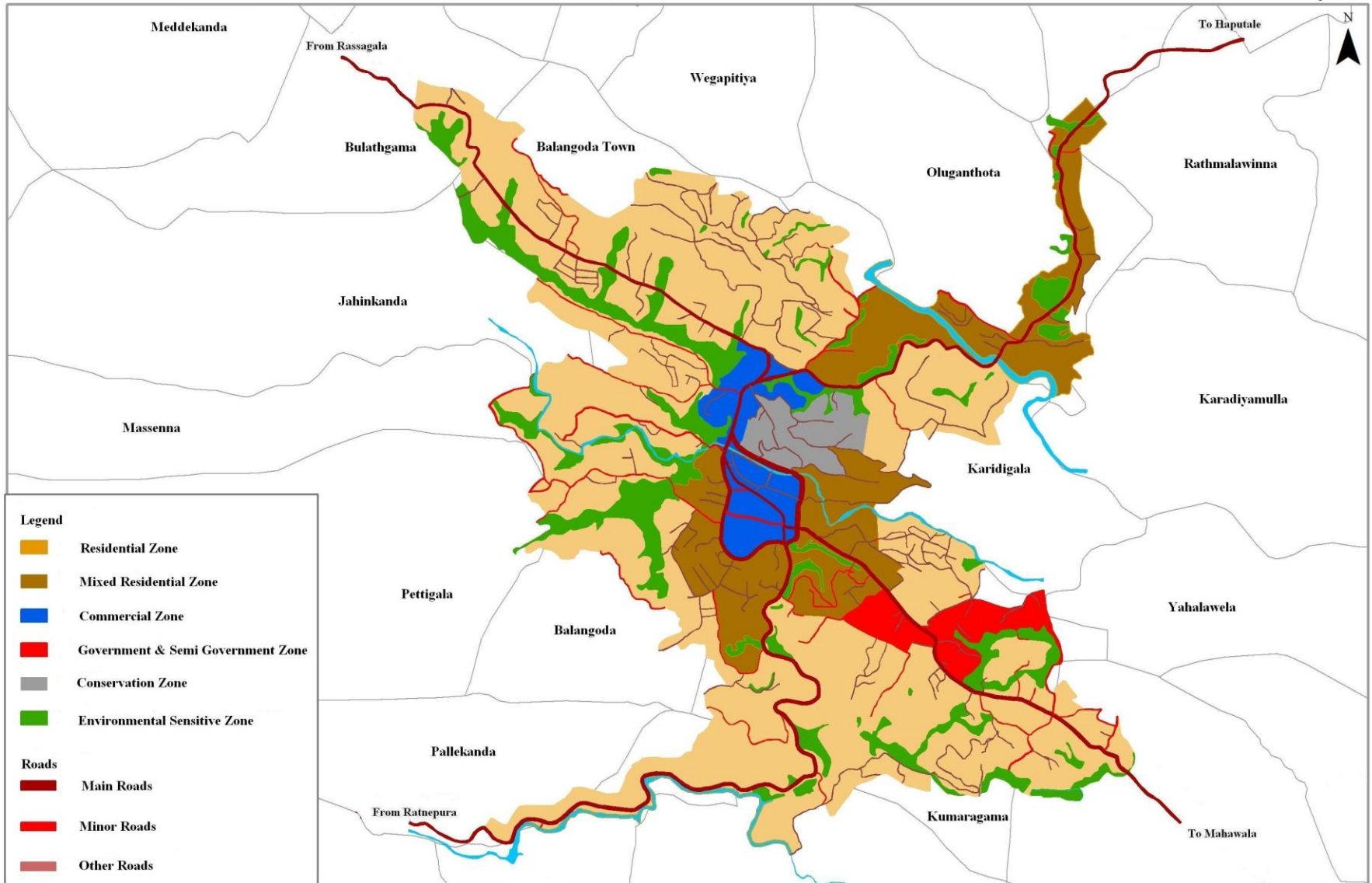
Serial No.	Use	Extent (ha.)	% of Total Land in 2030
01	Residential Zone		
	i. Primary Residential Zone	498.9	50.7
	ii. Mixed Residential Zone	94.6	8.6
02	Commercial Zone	65.9	6.0
03	Institutional Zone	106.4	10.3
04	Environmental Sensitive Zone (Budupilima Kanda and surrounding residential)	18.6	1.9
05	Reservation	80.7	8.2
	i. Roads	5.9	0.6
	ii. Water ways	44.4	4.5
	iii. High lands		
06	Urban Area	984.2	100.0

**Source :- Urban Development Authority**

A drastic change have been done for the entire land use plan as a whole. The residential use has been developed in two fold and more opportunities have been given for commercial use. The proposed Zoning Plan is shown in the Map No. 01 and the provisions given for different uses according to the zoning plan and the further details are given below.

# Zonning Plan 2030 - Balangoda Urban Council Area

Map No. 01



Source: 1:10000 Land Use Map  
Survey Department of Sri Lanka and  
Urban Development Authority

0 0.5 1 2 Kilometers

Urban Development Authority  
Sabaragamuwa Provincial Office  
Rathnepura

## **2.2 Proposed Infrastructure Development Plan**

### **1. Residential Use**

- Implementation of middle class housing project.
- Commencement of housing project for low income families.
- Introduction of loan scheme with interest rates at a concessionary basis for renovation of houses.
- Planning of a loan scheme for construction of new houses.

### **2. Road Development**

- Proper maintenance of recently widened Main Street.
- Construction of Dorawela by-pass road.
- Development of old road Balangoda.
- Development of by-pass roads.

### **3. Passenger Transport Services**

- Proper maintenance of Bus Stand constructed under the new town development project.
- Provision of parking areas.
- Improvement of sanitary facilities for the public.
- Integration of Peopalised transport service and the Road passenger transport service.

### **4. Supply of Drinking Water**

- Proper maintenance of existing water supply system.
- Construction of new water tank in the locality of Mugunamala Kanda under the Norwegian assistance in order to improve the water capacity.
- Extension of pipe lines to the areas where pipe borne water is unavailable.
- Proper maintenance of protected wells.
- Increase of common water taps.
- Encourage usage of tube wells.
- Implementation of new water supply system under the Norwegian assistance.

### **5. Solid Waste Management**

- Maintenance of solid waste management project under better control.
- Regularization of collection of solid waste, separation and transportation as well as increase of required facilities.
- Convert solid waste into compost and put up for sale
- Introduction of domestic composting system.

**6. Sewerage**

- Introduction of central sewerage system.
- Encourage public towards water seal toilets.
- Take action to minimize the use of unsafe toilets and provide financial assistance to construct hygienic toilets under the concessionary basis.
- Construction of waste water drainage system.

**7. Rain Water Drainage System**

- Construction of rain water drainage system covering the whole urban area.
- Take action against the disposal of waste water into rain water drainage system.
- Proper maintenance of the newly constructed drainage system.

**8. Electricity Supply**

- Extension of electricity network to the areas presently not covered.
- Increase of electricity supply for the low capacity areas.
- Introduction of underground electricity network system for urban centres.
- Development of street lighting system.

**9. Telecommunication Service**

- Extension of telecommunication network.
- Improvement of telecommunication supply network.
- Move towards underground network.
- Move towards alternative telecommunication methodologies.

**10. Education**

- Improvement of educational facilities in schools.
- Regulate Religious school education.
- Improvement of relevant facilities for vocational training.
- Control and supervision of tuition class system and private educational institutes in an orderly manner.

**11. Health**

- Improvement of relevant facilities in the base hospital.
- Regularization of public health institutes.
- Improvement of maternity health care facilities and child health care facilities.
- Regularization of private medical institutions, dispensaries and pharmacies.
- Improvement of ayurvedic facilities.

## **2.3 Proposed Environmental Plan**

Balangoda urban area, which is 10 sq.km. in extent, located in the Ratnapura district of Sabaragamuwa province. The urban area of Balangoda consists of flat lands, river valley areas as well as mountain ranges with sloppy areas. The Environmental Plan prepared for the Balangoda town limits consist of the following features.

01. Common Open Area Recreational Activity Plan. (see Map No. 02)
02. Proposed Environmental Protection Plan.
03. Disaster Mitigation Plan.

### **2.3.1 Common Open Area Recreational Activity Plan**

Balangoda urban area, 10 km. in extent, recorded a total population of 22123 according to the census of population and housing in 2011. Accordingly it is required to reserve 22 ha. for the year 2011 for Common Open Recreational Activity Plan.

The main objective of this Plan is to improve the mental and physical relaxation of the people as well as to popularize sports as an entertainment activity by year 2033.

According to the common recreational open space concept of Urban Development Authority, it is required to reserve 1.4 ha. of open spaces per 1000 population. Therefore, by 2033, the estimated population would be 32779 and land required for Common Open Area Recreational Activity Plan is about 32 ha.

This plan proposes to construct two storeyed Pavilion and to reserve the upper floor for physical training activities. Improvement of spectator area as well as to construct the indoor stadium is also proposed in this plan. It is required to get the land for 400m track. In addition it is proposed to develop the location where the weekly fare is held as a children's park.

Further, this plan proposes to beautify the preserved area of Dorawela Oya through landscaping. Also proposed to landscape the town as well as the streets according to the landscape plans prepared for this area.

**Table No. 03**

**Proposed Playgrounds and Parks**

<b>No.</b>	<b>Type</b>	<b>Extent (ha.)</b>	<b>Existing land use</b>	<b>Proposed use</b>	<b>Grama Niladhari Division</b>
01	<b>Mini Park</b>				
	MP1	0.5	Paddy	Mini park	Gorokgahamada
	MP2	1.0	Paddy	Mini park	Gantota
	MP3	0.4	Paddy	Mini park	Thumbagoda
	MP4	0.5	Paddy	Mini park	Kirindigala
02	<b>Local Park</b>				
	LP 1	1.2	Paddy	Local Park	Gorokgahamada
	LP 2	1.5	Vacant Land	Local Park	Dehigasthalawa
	LP 3	2.5	Paddy	Local Park	Kotugodalle
	LP 4	1.2	Paddy	Local Park	Balagahamula
	LP 5	3.0	Paddy	Local Park	Thumbagoda
	LP6	2.0	Vacant Land	Local Park	Kirindigala
03	<b>Community Park</b>	3.5	Paddy	Community Park	Gastota
04	CP1				
	<b>Linear Park</b>	15	-	-	-

According to the above data,

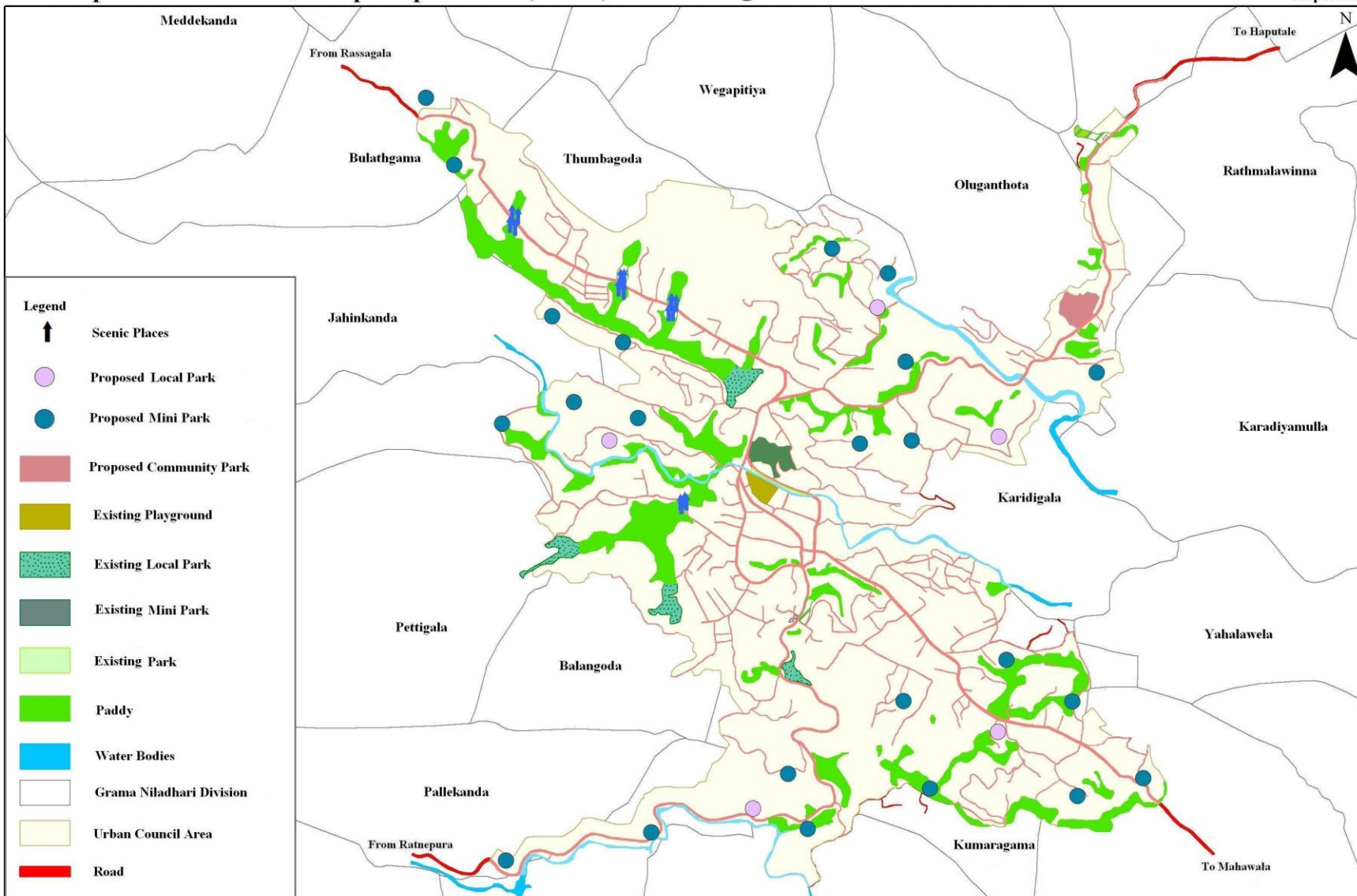
Existing Playgrounds	-	1.2 ha.
Proposed Parks	-	17.3 ha.
Linear Parks	-	15.0 ha.
(Parks, reservations of rivers& canals)		
<b>Total</b>	<b>-</b>	<b>24.5 ha.</b>

It is important to develop the nearby areas of Dorawela oya which runs through the Balangoda town and the Walawe river as well as reservations of canals as linear parks. Wetlands and paddy lands should be used as water retention areas.

Although the land in the Balangoda urban area is adequate as per the above data for the requirement of common open recreational activity plan, these lands are not spread over the whole urban area. Therefore the future requirements of the area, which does not cover under the above plan, has been shown as 'Needed Parks' in the Map No. 02.

# Proposed Recreation and Open Space Plan (PROS) 2011-Balangoda Urban Council Area

Map No. 02



Source : 1:10000 Land Use Map  
Survey Department of Sri Lanka and  
Environmental Landscape Division

Urban Development Authority  
Sabaragamuwa Provincial Office  
Rathnepura



## **2.4 Environmental Protection Plan**

The main objective of introducing an Environmental Protection Plan for the Balangoda urban area is due to availability of environmental sensitive zones within the area. Specially, the Balangoda town become an environmentally sensitive area due to its location in a valley surrounded by a mountain range, flowing of Walawe river, which is one of the main rivers in Sri Lanka and also Dorawela oya flows through the town and thereby location of low lands, marshy lands and paddy lands. Particularly, the low lands, steep slopes and paddy lands have been included in this plan. Protection of environmental balance of the area as well as to avoid the irregular land filling is the main objective of introducing this plan. Presently, there are 70 ha. or 7.10% of the land exist as paddy lands. Increasing this amount up to 9.52% or 93.6 ha. by including the nearby areas of Dorawela Oya and Walawe river and all these land area has been identified as the sensitive areas.

In addition it has been identified the high lands in Mugunamale mountain area as a preservation area of Balangoda.

Accordingly, 42 ha. of land area located in the surrounding area of Mugunamale mountain has been identified as a preservation area avoiding construction and soil cutting activities as there is a possibility of having natural hazards such as earth slips due to steep slopes.

Further, this plan has been identified to preserve the gem mines where the mining activities have been completed and presently abandoned. Accordingly, it is proposed to limit the development activities in preserved areas and to use the land only for permitted uses.

Apart from that, it is proposed in this Plan to maintain the scenic view points without covering the view. So that the heights of the buildings are controlled and external appearance of the buildings to be done to suit the environment of the areas where mountain views are appeared including Sri Pada mountain. The prior approval should be obtained from the Urban Development Authority for such constructions.

## **2.5 Disaster Management Plan**

Since Balangoda town faced to natural hazards such as flooding, earth slips, hard wind situations and wild fires frequently, this Plan is introduced to minimize the hazards and the losses due to disasters and to provide a safe environment for the habitation. This Plan has been prepared by the UN habitat including the relevant technical guidelines. The

relevant instructions have been given for the developments within the identified areas considering the intensity of disasters and expect to protect the environmental balance further.

### **2.5.1 Expected Goals**

1. Development activities to be done to minimize the disasters may happen in the future.
2. Introduction of development methodologies for identified special zones.
3. Introduction of balanced land use pattern.
4. Obtain economic benefits at a maximum level through environmental protection.
5. Development of urban zones according to the regulations.
6. Formulation of rules and regulations related to town development to get a more value for surrounding residential zones.

### **2.5.2 Disaster Mitigation Strategies**

1. Reduction of building densities in disaster prone areas through implementation of the proposed zoning plan.
2. Planning of drainage system and the wetlands to face the instant flooding.
3. Implementation of the above plans through the local authority.
4. Identification of earth slip prone areas and introduction of methodologies to minimize the earth slips.
5. Control of construction of boundary walls in flood prone areas.
6. Take action to reduce the hazards due to earth slips in sloppy areas through construction of drains based on the retaining walls and contours.

### **2.5.3 Proposals to be implemented through the Disaster Management Plan**

#### **Strategies to minimize the Earth Slip Danger**

Protection of earth slip prone areas in order to minimize the danger to the people as well as the property, protection of water resource and fauna and flora as well as plantation will be done through this strategy. By implanting these projects, it is expected to stabilize the physical environment in order to face in a disaster situation,

1. Minimizing of the earth slip danger through turfing on sloppy surfaces.
2. In order to control the flooding and earth slips, take necessary action to absorb the surface water.

3. Protection of soil erosion through construction of retaining walls and drains according to the contours.
4. Development of mountain areas in an environmental friendly manner to minimize the hazards.

#### **2.5.4 Strategies to minimize the Earth Slips**

It is proposed to minimize the dangers and hazards and to provide protection to the human habitation through an environmental friendly programme. One of the main objectives is to prevent the drainage of surface water to the rivers in order to maintain a optimum capacity in the rivers by improvement of water drainage system.

1. Plantation of trees in the adjoin areas of rivers, canals and water ways and provision of recreational areas for the public such as walk ways with landscape features.
2. Provision of linear parks in town centre areas.
3. Provision of different type of plantation areas. Provision of linear parks along the both sides of canals, rivers and roads and turfing of banks.
4. Provision of protection zones, turfing, planting of environmental friendly trees on both sides of the river bank. (Bamoo, Kumbuk trees etc.)
5. Designing of building to face the flooding situations.

### 2.5.5 Guidelines for Disaster Zones

**Table No. 04**

#### **1. Proposed Permitted Uses for the Earth Slip Danger Zones**

<b>Zone</b>	<b>Permitted Uses</b>	<b>Prohibited Uses</b>	<b>Other Requirements</b>
<b>Central Danger Zone</b>	<ul style="list-style-type: none"> <li>• Residential activities.</li> <li>• Medium scale land lots.</li> <li>• Industrial activities, parks and playgrounds.</li> <li>• Open lands and leisure and recreational activities.</li> <li>• Agricultural activities.</li> <li>• Institutional activities.</li> <li>• Community development activities.</li> <li>• Public gathering centres.</li> <li>• Financial activities.</li> </ul>		<ol style="list-style-type: none"> <li>1. All the constructions should be done carefully.</li> <li>2. Introduction of special sewerage system.</li> <li>3. Permission should be obtained from the relevant agencies. <ul style="list-style-type: none"> <li>• UDA</li> <li>• Disaster management centre.</li> <li>• National building research organization.</li> </ul> </li> <li>4. Provision of adequate amount of parking facilities and improvement of infrastructure facilities. (the way do not face the disaster situations).</li> <li>5. Implementation of housing projects safe from disasters.</li> </ol>

## 1. Proposed Permitted Uses for the Earth Slip Danger Zones

Zone	Permitted Uses	Prohibited Uses	Other Requirements
Less Danger Zone	<ul style="list-style-type: none"> <li>• Residential (less plot coverage)</li> <li>• Industries.</li> <li>• High rise buildings.</li> <li>• Public meeting places.</li> <li>• Government and institutional buildings.</li> <li>• Administrative complexes, education and training institutes, cultural centres, religious places, community halls, museums, car parking complexes.</li> <li>• Parking areas.</li> <li>• Agricultural activities, Plantation industries.</li> <li>• Power generation stations</li> </ul>		<ul style="list-style-type: none"> <li>• Introduction of sewerage systems.</li> <li>• Recommendations should be obtained from the local authority and National Building Research Organisation.</li> <li>• Adequate parking should be provided.</li> </ul>

## 1. Proposed Permitted Uses for the Earth Slip Danger Zones

Zone	Permitted uses	Prohibited Uses	Other Requirements
High Danger Zone	<ul style="list-style-type: none"> <li>Residential activities.</li> <li>Commercial activities.</li> <li>Parks, water retention areas, agricultural crops, forests, preserved parks, natural water ways, plant nurseries, parks and playgrounds.</li> <li>Agricultural crops recommended for sloppy lands.</li> </ul>	<ul style="list-style-type: none"> <li>Industries.</li> <li>Educational centres.</li> <li>Public meeting places.</li> <li>Financial activity centres.</li> <li>Animal breeding centres.</li> </ul>	<ul style="list-style-type: none"> <li>Agricultural activities carried out according to contours.</li> <li>All the construction work should be done according to the gradient of the slopes under the other safety conditions.</li> <li>Discourage the multi functional building requirements.</li> <li>Introduction of special sewerage methods.</li> <li>Permission should be obtained from the relevant agencies. <ul style="list-style-type: none"> <li>UDA</li> <li>Disaster Management Centre.</li> <li>National Building Research Organization.</li> </ul> </li> <li>Adequate parking facilities and improvement of infrastructure facilities.</li> <li>Discourage residential projects.</li> <li>Permission should be given for temporary buildings.</li> </ul>

## 2. Permitted Uses for Danger Zone due to Flooding

Zone	Permitted uses	Prohibited Uses	Other Requirements
High Danger Zone	<ul style="list-style-type: none"> <li>Residential activities within large plots (Minimum plot size 20 - 40 perches)</li> <li>Minimum of 2 storeys for commercial activities.</li> <li>Hotels, parks, water retention areas, agricultural crops, forests, preserved parks, natural water ways, plant nurseries, parks, open spaces and playgrounds.</li> </ul>	<ul style="list-style-type: none"> <li>Industries</li> <li>Educational centres.</li> <li>Public meeting places.</li> <li>Financial activity centres.</li> <li>Animal breeding centres.</li> </ul>	<ul style="list-style-type: none"> <li>All the constructions should be done with safety precautions.</li> <li>Introduction of special sewerage and refine systems.</li> <li>Permission should be obtained from the relevant agencies. <ul style="list-style-type: none"> <li>- UDA</li> <li>- Disaster Management Centre.</li> <li>- National Building Research Organization</li> </ul> </li> <li>Provision of adequate amount of parking facilities and improvement of infrastructure facilities.</li> <li>Permission is given for temporary buildings.</li> </ul>

## 2. Permitted Uses for Danger Zone due to Flooding

Zone	Permitted uses	Prohibited Uses	Other Requirements
Central Danger Zone	<ul style="list-style-type: none"> <li>• Residential activities.</li> <li>• Industries, parks, playgrounds.</li> <li>• Agricultural crops.</li> <li>• Institutional activities.</li> <li>• Community development activities.</li> <li>• Public gathering centres.</li> <li>• Financial activities.</li> </ul>		<ul style="list-style-type: none"> <li>• Introduction of special sewerage and refine systems.</li> <li>• Permission should be obtained from the relevant agencies. <ul style="list-style-type: none"> <li>- UDA</li> <li>- Disaster management centre</li> <li>- National building research organization.</li> </ul> </li> <li>• Provision of adequate amount of parking facilities and infrastructure facilities. (the way do not face the disaster situations)</li> </ul>



## 2. Permitted Uses for Danger Zone due to Flooding

Zone	Permitted uses	Prohibited Uses	Other Requirements
Less Danger Zone	<ul style="list-style-type: none"> <li>• Residential (less plot coverage)</li> <li>• Industries.</li> <li>• Permission for high rise buildings.</li> <li>• Public meeting places.</li> <li>• Government other institutional buildings.</li> <li>• Administrative complexes, education and training institutes, cultural centres, religious places, community halls, museums, car parking complexes.</li> <li>• Parking areas.</li> <li>• Agricultural crops and Plantation industries.</li> <li>• Power generation stations.</li> </ul>		<ul style="list-style-type: none"> <li>• Introduction of sewerage and refine systems.</li> <li>• Recommendations should be obtained from the local authority and National Building Research Organisation.</li> <li>• Adequate parking should be provided.</li> </ul>

## CHAPTER THREE

### 3.0 Recommended Action Projects

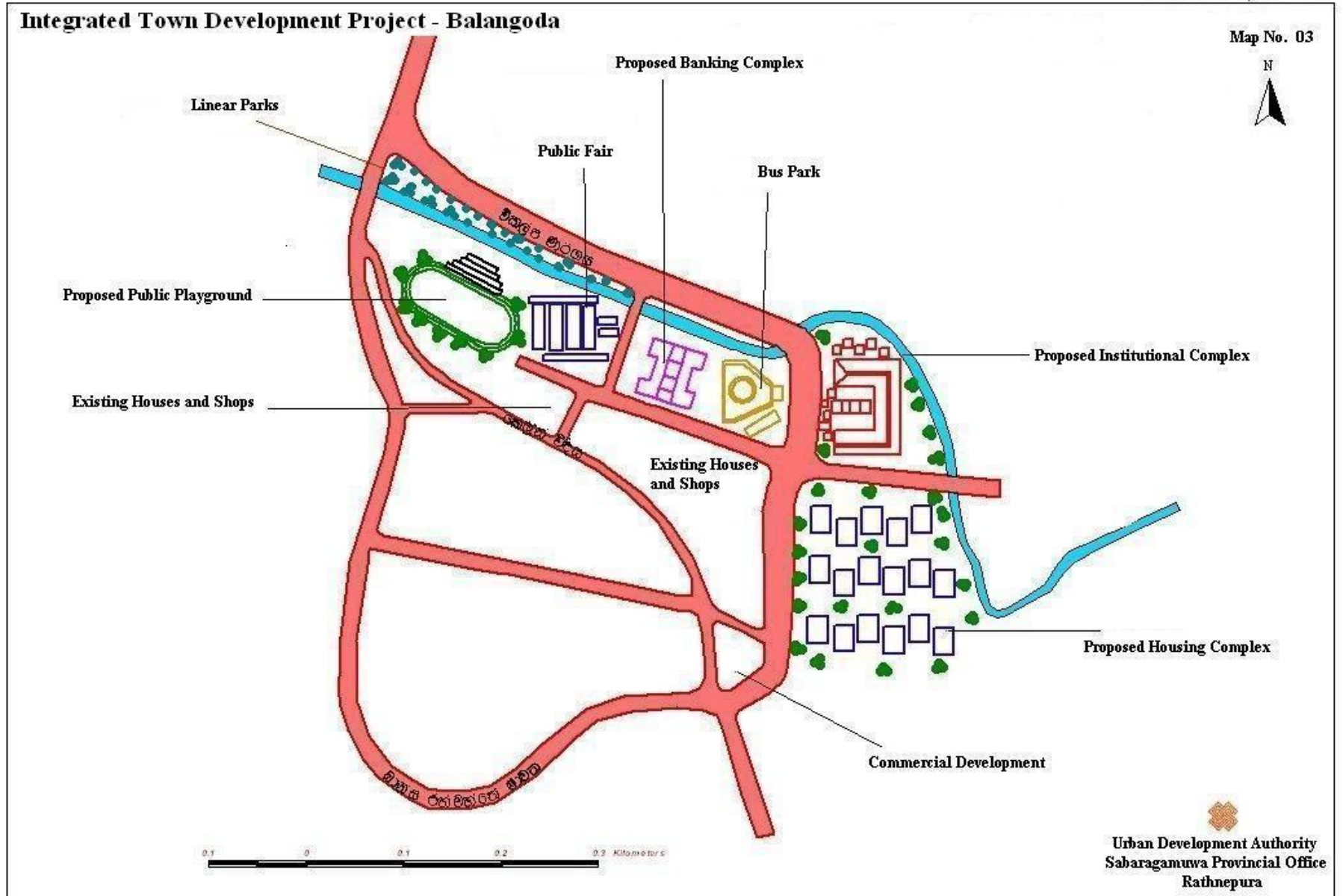
**Table No. 05**

<b>Serial No.</b>	<b>Name of the Project</b>	<b>Present Situation</b>
1.	Integrated Town Development Project	Under implementation
2.	Diversion of Dorawela oya and development	Deviation of Dorawela oya is completed and development of banks are being done.
3.	Development of Dorawela by-pass road	Development already completed and beautification of both sides of the road to be done.
4.	Housing development project	Proposed to implement.
5.	Urban Park	Already developed and the tree planting is being done.
6.	New access road	Already completed the road and the beautification of both sides of the road to be done.
7.	Provision of lands for Banks	Under implementation
8.	Proposed Institutional complex	Proposed to implement

The above table indicates the recommended projects under the integrated town development programme. Some of these projects are under implementation. (Map No. 03)

## Project 1

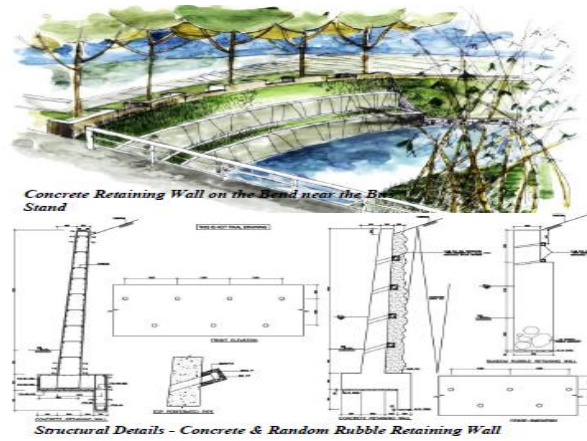
### Integrated Town Development Project - Balangoda



## Project 2

### Diversion of Dorawela Oya and Development

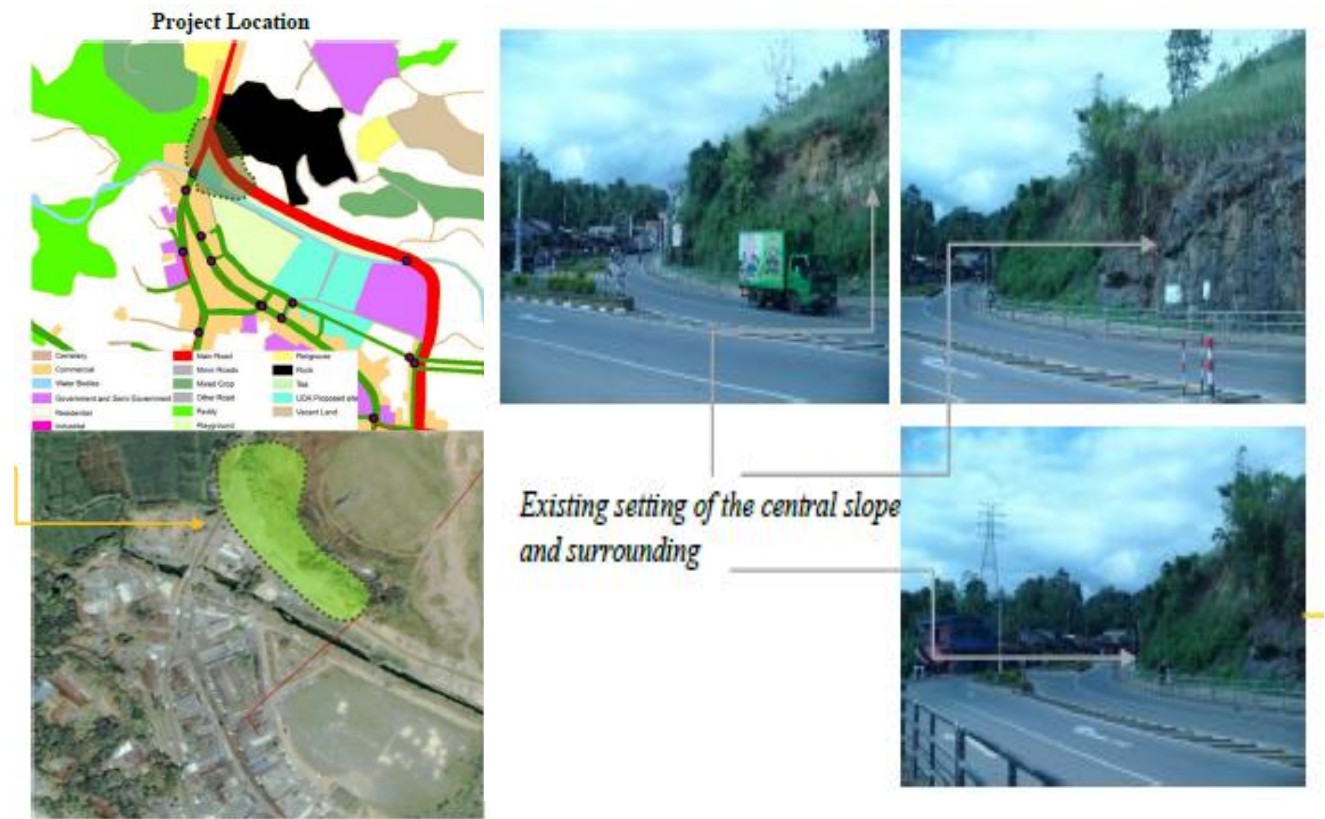
Presently this project is under implementation. Development of Banks are shown in the following figure.



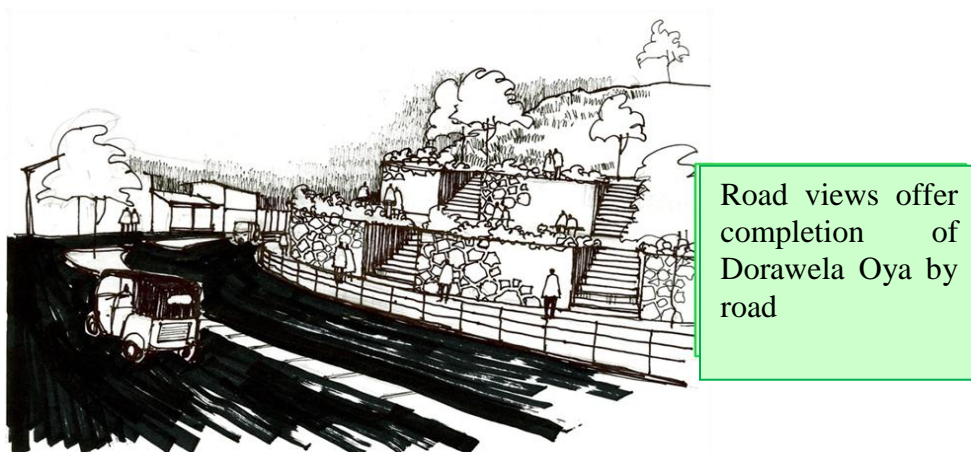
### Project 3

#### Dorawela by pass road Development

This project is being implemented as a first stage it has been completed road development and Oya bank development going to be implement in second stage.



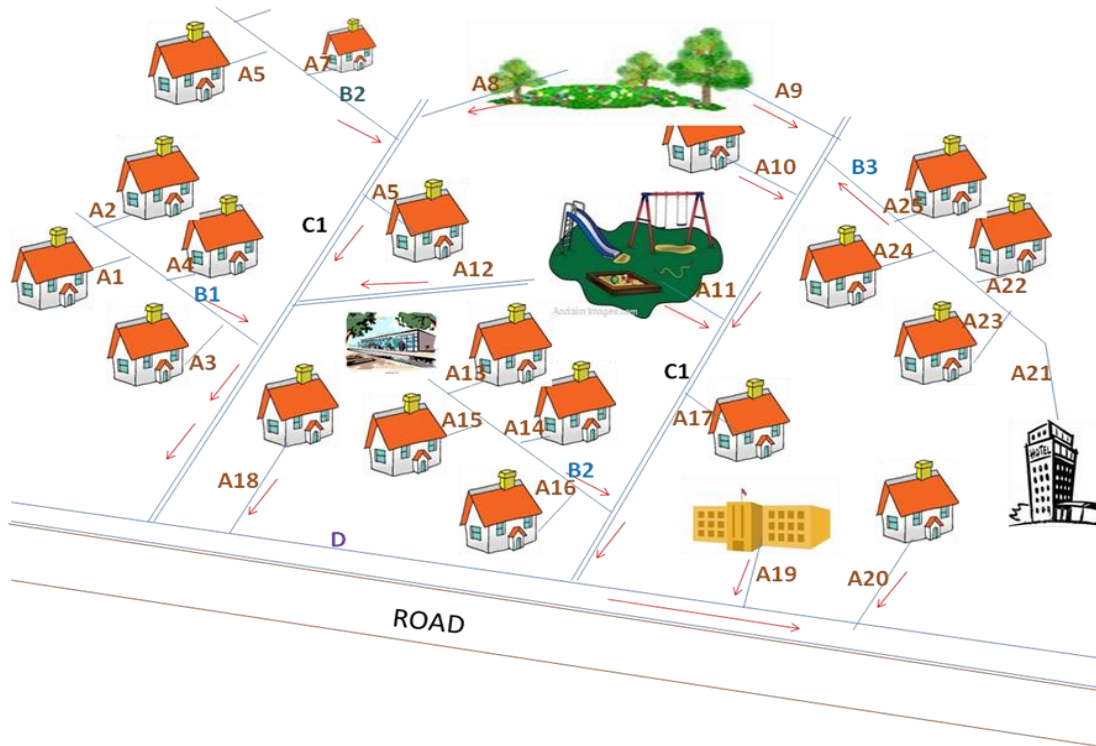
Lands identified for Urban Housing Development Project.





## Project 4

### Housing Development Project



The projects specified in above Table No. 05 and Map No. 03 has to be implement by the Development Plan.

## **CHAPTER 04**

### **4.0 Zoning Regulations**

#### **4.1 General Zoning Regulations**

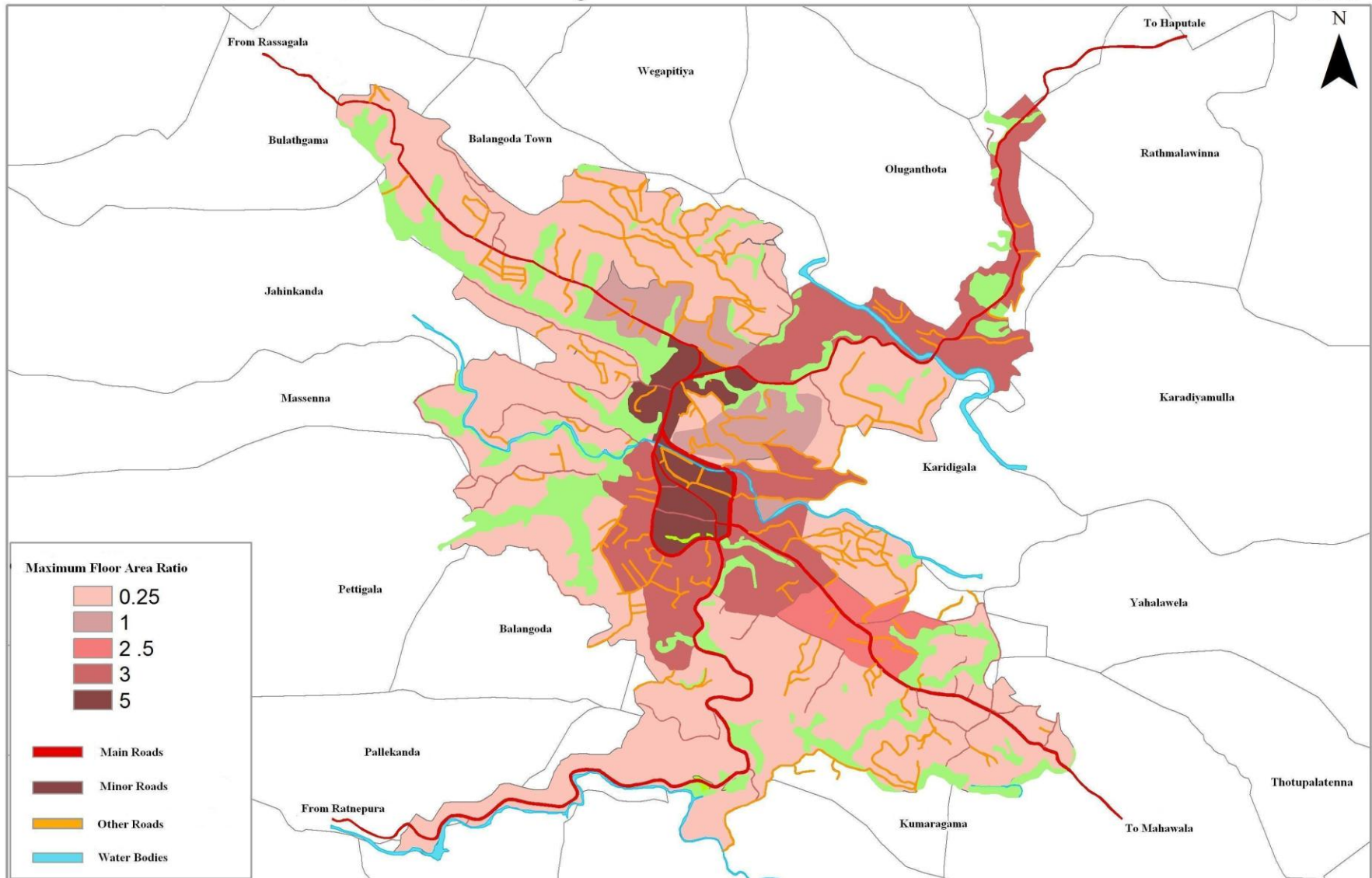
1. When a site or a property is zoned for a particular use or activity, it shall be used only for such purpose. (Map No. 01)
2. The maximum floor area ratio (FAR) applicable to a building to be constructed within each zoning category shall be as indicated in Annexure 06. (Map No. 04)
3. When a site or property is not zoned for a particular use or activity, it shall be used only for such specified purpose in that zone according to the Zoning Plan.
4. A site or a building shall not be used for any activity other than those which are prescribed in the development permit.
5. To applied for construction of a building in special land / site (acquire land and then vest the land by UDA) in commercial zone should adhere to guidelines laid down by the Urban Development Authority (UDA).
6. The UDA can order any existing building in the above No. five alteration or renovation of its height, colour, materials use for construction and architectural to confirm the guideline.
7. The building line of a site or a block of land adjacent to a street should confirm to the limits specified in the Annexure 03.
8. The building line of a site adjacent to a common pathway or stairway access should be not less than 2.0 m. from the centre of same.
9. Reservation requirements for excavation and mining works laid down in Annexure 02.
10. Listed conserved buildings mentioned in Annexure 08. When carry out any alteration in this buildings should not harmful to the external appearance of the same.
11. At a site or block of land is abutting a water way the reservation for the water ways should according to Annexure 04.

12. In case of an application to construct a place of worship or to change the existing use of a building to that of a place of worship. The applicant should prove to the UDA that it has the approval of the  $\frac{2}{3}$  of the residents within the radius of 5 km. from the proposed site. This same regulations should be adhered to when erecting a religious statue a cross or a religious sign permanently.
13. When erecting a permanent name board or a commercial hoarding it should not be an obstruction to any façade of an existing building and be erected parallel to the road at a height of 3.5 m. above the ground level. The maximum height of the hoarding shall not exceed 1.5 m. Such hoardings should not in any way causes traffic congestion motor accidents or obstruct the scenic view by fixing on to a boundary walls or dams.
14. All excavation and mining works in the permissible zones should confirm to the reservation laid down in the Annexure 07. Further no other institution should issue permits for excavation and mining without Preliminary Planning Clearance from the UDA.
15. All excavation and mining works for which permission had been granted by the relevant Authorities should adhere to the stipulated conditions of the permit.
16. The maximum limit of extension of a building or buildings is 30 m. A 3 m. space following every 30 m. should be kept free to serve as a fire gap UDA can issue the permit to use this strip of open area without construction of any buildings.



## Maximum Floor Area Ratio - Balangoda Urban Council Area

Map No. 04



Source : 1:10000 Land Use Map  
 Survey Department of Sri Lanka and  
 Urban Development Authority

0 0.5 1 2  
 Kilometers

Urban Development Authority  
 Sabaragamuwa Provincial Office  
 Rathnepura

## **4.2 Use Zones**

- 4.2.1 Any site or a housing block that has been identified for a specific use becomes a part of the Land Use Zoning Map. (Map No. 01)

Zones as follows;

1. Residential Zone
  2. Mixed Residential Zone
  3. Commercial Zone
  4. Government and Semi Government Zone
  5. Environmental Sensitive Zone (Paddy Lands)
  6. Conservation Zone (High Land at Mugunamala Hill)
    - i. Roads
    - ii. Water Ways
- 4.2.2 The UDA has the Authority to define any area in development area as a Special Development Zone. Such as;
- i. Conservation area (Natural reservation, forest area and building that has a architectural value, area that has historical, archeological and scenic values)
  - ii. Town Centre Area (Explained by comprehensive plan)
  - iii. Special housing projects area or special project area
- 4.2.3 The UDA may determine, furnish of regulations for construction of any type of building in the above area.
- 4.2.4 In most instances the boundaries demarcating the different zones in the Development Plan has been the existing roads, by-roads and waterways, but when such boundaries are not available boundaries of properties shown in the town survey maps will be taken into consideration (Zonal boundaries specified in Annexure 01).
- 4.2.5 When a site falls within two zones, determination of the zone for that particular site will be the zone in which the main access to the site is situated. In a case defined length and breath of a zone is given, the zoning of the site could be determined according to such definition.
- 4.2.6 The use of land within the defined zones for which approval could be granted will be conformity with the following conditions.

- i. Such use of land should be in compatible with the existing developments of the area, not posing a problem to the existing facilities of the area or privacy of the inhabitants and not create an environmental hazard or any other hazards.
- ii. Such development should not produce traffic congestion and the entire parking facilities should be provided within the site.
- iii. The extent of the land must be adequate for the proposed development and to make provisions for infrastructure facilities, protection from fire and other natural causes.
- iv. It must be compatible with the reservation given in Annexure 03 and 04 (Roads, Rivers and Lakes).
- v. Be adhere with the dangerous and offensive trading regulations Annexure 05.

### **4.3 Zoning Regulation**

#### **4.3.1 Residential Zone**

Following uses permitted within the Residential Zone.

- i. Residential Buildings
- ii. Primary Schools, Educational Institutions and Community Centre
- iii. Medical Centres
- iv. Religious Places
- v. Professional Office
- vi. Commercial Buildings (Following requirements should be fulfill construction of commercial building within this zone)
  - Land extent should be 45 perches
  - Plot coverage 66%
  - Maximum Floor Area Ratio 2.5

Note: Approval only granted tourism related activities within this zone

- vii. Food court not less than 100 sq.m.
- viii. Government and Private Office Building not less than 100 sq.m.
- ix. Social and Cultural Centres
- x. Parks and Play Grounds
- xi. Indoor Stadium and Recreational Activity Centre
- xii. Cottage industries by electric power using not more than 5 H.P, employing not more than 10 workers, and occupying a gross floor area not exceeding 50 sq.m.

- xiii. If any multistoried buildings are constructed within this zone, except the ground floor, other floors shall be used for residential purpose only.
- xiv. If a plot of land facing the “A” grade road, shall have a minimum extent of 6 perches and a minimum width of the frontage 6 m (20 ft) for any development, with vehicle parking facility within the site, and adhere to Annexure 2 and Annexure 6 indicated in Volume II for approval.

#### **4.3.2 Mixed Residential Zone**

Following uses will be permitted within the Mixed Residential Zone.

- i. All the above uses mentioned in Residential Zone will be granted for this zone.
- ii. Small scale industries (Land extent should exceed more than 300 sq.m. and should be in conformity with requirements of the Central Environmental Authority with regard to the maximum noise levels permissible in the Mixed Development Zone.
- iii. Whole sale trade activity
- iv. Hotels, Restaurant and Lodge
- v. Government Buildings
- vi. Medical Service Centres
- vii. Fuel Filling Stations

4.3.2.1 In permitting any use within this area, the Authority shall impose conditions for the purpose of preventing the pollution of air, water and environment and the noise pollution by the industry and minimize the damage to the life and property that may be caused by fire and other natural disaster.

4.3.2.2 Parking should be provide within the land if accessibility taking from main roads for the above-mentioned uses.

4.3.2.3 When constructing building maximum floor area ratio should be in accordance with Annexure No. 06 and gradient should accordance with Annexure 02.

#### **4.3.3 Commercial Zone I**

Following uses permitted within this zone.

- i. Commercial Institutions, Shops, Showrooms, Public Market and Supper Market
- ii. Hotel, Guest House, Lodge and Restaurant
- iii. Banks and Financial Institutions

- iv. Cinema Halls, area reserved for recreational activities and Clubs
- v. Medical Centres
- vi. Professional Office, Commercial Office
- vii. Fuel Filling Station and Parking Facility
- viii. Residential Activities and Restaurant (Above second floor)
- ix. Printing Press less than 150 sq.m.
- x. Motor Vehicle Repairing Centres less than 100 sq.m.
- xi. Gem Cutting and Polishing Industries

Construction of buildings maximum floor area ratio should according to Annexure 06.

#### **4.3.4 Government and Semi Government Institutional Zone**

Following uses permitted within Government and Semi Government Institutional Zone.

- i. Public Gathering Places
- ii. Public, Government, Semi Government Institutional Buildings
- iii. Administrative Complexes
- iv. Educational Institutions and Training Centres
- v. Commuting Halls, Cultural Centres and Religious Buildings
- vi. Parks, Play Ground, Open Space and Recreational Activities
- vii. Library, Museum and Showrooms
- viii. Vehicle Parks and Parking Complexes
- ix. Food Eating Places not more than 100 sq.m.

Construction of buildings Maximum Floor Area Ratio should according to Annexure 06.

#### **4.3.5 Conservation Zone**

Following uses permitted within this zone.

- i. Nature Park, Forest Land
- ii. Conservation Park
- iii. Natural Roads
- iv. Environmental Friendly Agricultural Crops
- v. Plant Necessary
- vi. Agriculture and Floor Gardens
- vii. Open Area, Play Ground
- viii. Mining Activities in the Paddy and Marsh Lands

- ix. Minimum Plot Size for existing residential and new residential activities is 12 perches (Mugunamala Area)

Permission not granted for any construction which are not compatible or hinder for the existing coverage of agriculture, forest and low lands.

Except the above-mentioned uses, UDA can grant the permission, the uses not hinder for existing uses.

Permission not granted any construction which restrict.

#### **4.3.6 Parks and Play Ground Zone**

Following uses are permitted within this zone.

- i. Parks, Play Ground and Indoor Stadium
- ii. Exhibition huts and open stage
- iii. Club and Stadium
- iv. Permission granted for agriculture and mining works till start the leisure and recreational activities
- v. Agriculture and Botanical Garden

#### **4.3.7 Environmental Conservation Zone**

- i. Agricultural Crops
- ii. Nature Roads
- iii. Conservation Parks
- iv. Nature Parks, Forest Land
- v. Plant Necessary
- vi. Laboratory for Agrarian Services / Green House

All roads in Balangoda Urban Council Area shown in Annexure 01.

## Annexure 01

### Road Network in Balangoda Urban Council Area

Road No.	Name of the Road	Length (m)	Width (m)	Starting Point	End Point
01	Naslowatta Road	150 (Tar)	3.65	Haputale Road	To Pradeshiya Sabha Limit
02	Old House Road	172 (Gravel Road)	3.00	Haputale Road	To Pradeshiya Sabha Limit
03	Karadiyamulla Road	490 (Tar)	3.65	Haputale Road	To Pradeshiya Sabha Limit
04	Gama Gedara Road	268 (Tar)	3.00	Karadiyamulla Road	Walawe Ganga
05	Saiwatta Road	200 (Tar)	4.00	Haputale Road	To Pradeshiya Sabha Limit
06	Gantota River Road	100 (Tar)	3.00	Haputale Road	To Pradeshiya Sabha Limit
07	Gantota Gangarama Temple Road	70 (Gravel Road)	1.82	Haputale Road	To Pradeshiya Sabha Limit
08	Janapada Road	166 (Tar)	3.00	Haputale Road	To Pradeshiya Sabha Limit
09	Kirindigala Polgahagoda Road	88 (Gravel Road)	2.00	Haputale Road	To end point
10	Anadamethgama Road	235 (Tar)	3.00	Haputale Road	To Pradeshiya Sabha Limit
10/i	Anadamethgama 1 <sup>st</sup> Lane	60 (Tar)	2.50	Anadamethgama Road	To end point
10/ii	Anadamethgama 2 <sup>nd</sup> Lane	132 (Tar)	2.50	Anadamethgama Road	To end point
11	Road to Kaluwella Housing Scheme	215 (Gravel Road)	3.00	Haputale Road	To Pradeshiya Sabha Limit
12	Weliharanawa Road (Circular Road)	655 (Tar)	3.50	Haputale Road	Haputale Road to Church Road
12/i	Weliharanawa 1 <sup>st</sup> Lane (Polgahagoda Road)	115 (Tar)	2.50	Weliharanawa Road	To Pradeshiya Sabha Limit

12/ii	Weliharanawa 2 <sup>nd</sup> Lane (Arangalawatta Road)	90 (Gravel Road)	2.30	Weliharanawa Road	To Pradeshiya Sabha Limit
12/iii	Weliharanawa 3 <sup>rd</sup> Lane	215 (Tar)	2.50	Weliharanawa Road	To Pradeshiya Sabha Limit
13	Jayatunga Florist adjoin Road	55 (Tar)	2.40	Haputale Road	To end point
14	Kirindigala Catholic Cemetery Road	73 (Tar)	3.00	Haputale Road	To Cemetery Premises
15	Buddhajayanthi Road	246 (Tar)	3.50	Thumbagoda Junction	To end point
15/i	Buddhajayanthi 1 <sup>st</sup> Lane	125 (Tar)	2.50	Buddhajayanthi Road	To end point
16	Madakirindigala Road	535 (Tar)	3.00	Buddhajayanthi Road	To end point
16/i	Madakirindigala 1 <sup>st</sup> Lane	60 (Tar)	3.00	Madakirindigala	To end point
16/ii	Madakirindigala 2 <sup>nd</sup> Lane	120 (Gravel Road)	2.40	Madakirindigala	To end point
16/iii	Madakirindigala 3 <sup>rd</sup> Lane	120 (Tar)	2.50	Madakirindigala	To Pradeshiya Sabha Limit
17	Wetnole Road	270 (Tar)	3.00	Rassagala Road	Bankiyawatta Tar Road To Pradeshiya Sabha Limit
18	Sandungama Road	150 (Tar)	3.00	Rassagala Road	To Pradeshiya Sabha Limit
18/i	Bulathgama Road	165 (Gravel Road)	4.00	Sandungama Road	To Pradeshiya Sabha Limit
18/ii	Sandungama 1 <sup>st</sup> Lane	95 (Tar)	2.50	Sandungama Road	To end point
19	Bogahahena Road (Rishana Service Road)	197 (Tar)	3.65	Rassagala Road	To end point
20	Kivulawela Road	40 (Tar)	2.50	Rassagala Road	To end point
		71 (Gravel Road)	2.50	Rassagala Road	To end point
21	Sudarshanapura Road	180 (Tar)	3.00	Rassagala Road	To end point
		15 (Quarry)	2.40	Rassagala Road	To end point
		72 (Gravel Road)			To end point
21/i	Sudarshanapura 1 <sup>st</sup> Lane	60 (Tar)	2.50	Sudarshanapura Road	To end point



21/ii	Sudarshanapura 2 <sup>nd</sup> Lane	30 (Gravel Road)	2.50	Sudarshanapura Road	To end point
22	Electricity Board front Road	135 (Tar)	3.00	Rassagala Road	To end point
23	Delgahatenna Road	100 (Tar)	2.50	Rassagala Road	To end point
24	Deniya Kumbura Road	110 (Gravel Road)	2.50	Rassagala Road	To end point
25	Bulathgama Tamil Vidyala Road	165 (Tar)	3.00	Rassagala Road	To Pradeshiya Sabha Limit
25/i	Bulathgama Tamil Vidyala Road 1 <sup>st</sup> Lane	130 (Tar)	2.50	Bulathgama Tamil Vidyala Road	To Pradeshiya Sabha Limit
26	Bulathgama Tamil Vidyala front Road	105 (Tar)	4.00	Rassagala Road	To end point
26/i	1 <sup>st</sup> Lane in front of Bulathgama Tamil Vidyala Road	142 (Tar)	2.50	Bulathgama Tamil Vidyala front Road	To end point
26/ii	2 <sup>nd</sup> Lane in front of Bulathgama Tamil Vidyala Road	100 (Tar)	2.50	Bulathgama Tamil Vidyala front Road	Ladysmith Watta Road
27	Ladysmith Watta Road	92 (Tar)	3.00	Rassagala Road	To end point
		90 (Gravel Road)	3.00	Rassagala Road	To end point
28	Puwakgahamulla Road	275 (Tar)	2.50	Rassagala Road	To end point
29	Ellewela Road	210 (Tar)	3.00	Rassagala Road	To Pradeshiya Sabha Limit
29/i	Ellewela Road 1 <sup>st</sup> Lane	55 (Tar)	2.50	Pallewela Road	To end point
29/ii	1 <sup>st</sup> Road in Ellewela 1 <sup>st</sup> Lane	50 (Gravel Road)	3.50	Pallewela Road 1 <sup>st</sup> Lane	To end point
30	Thanayamwatta Road 1 <sup>st</sup> Lane	105 (Tar)	2.50	Rassagala Road	To end point
31	Front Road of Thanayamgedara Watta 1 <sup>st</sup> Lane	100 (Gravel Road)	4.50	Rassagala Road	To end point
32	2 <sup>nd</sup> Lane of Thanayam Gedara Watta Road	105 (Tar)	3.00	Rassagala Road	To end point
33	Rassagala Road connect to Welipanawatta premises (Garage Road)	110 (Gravel Road)	3.00	Rassagala Road	To end point

34	Sri Sunandarama Circular Road	505 (Tar)	2.50	Rassagala Road	Rassagala Road
35	Bulathgama Thalawa Road	108 (Gravel Road)	4.00	Rassagala Road	To end point
36	Ananda Maithri Mawatha	170 (Tar)	6.00	Haputale Road	To Pradeshiya Sabha Limit
37	Dorawela Road	170 (Tar)	3.00	Haputale Road	To end point
38	Mugunamale Road	320 (Gravel Road)	4.00	Haputale Road	To Pradeshiya Sabha Limit
39	Halagahamula Hello Academy Road	105 (Gravel Road)	2.50	Kaltota Road	To end point
40	Falleel Hajjiar Avenue	165 (Tar)	3.00	Kaltota Road	To Pradeshiya Sabha Limit
41	Church Front Road	69 (Gravel Road)	4.00	Kaltota Road	Kirimandala front Road
42	Kirimandala front Road	50 (Tar)	2.50	Kaltota Road	To end point
43	Dunugahamadalawatta Road	95 (Gravel Road)	2.50	Kaltota Road	To end point
44	Benalheel Avenue	490 (Tar)	2.50	Kaltota Road	To Pradeshiya Sabha Limit
45	Kahatapitiya Road	152 (Tar)	2.75	Kaltota Road	To Pradeshiya Sabha Limit
45/i	Kahatapitiya Road N.M. Subair Haleem Avenue	540 (Tar)	4.00	Kahatapitiya Road	To Pradeshiya Sabha Limit
45/ii	45/ii Lane in Kahatapitiya Road	135 (Tar)	3.00	Kahatapitiya Road	To Pradeshiya Sabha Limit
45/iii	45/iii Lane in Kahatapitiya Road	22 (Tar)	2.50	Kahatapitiya Road	To Pradeshiya Sabha Limit
45/iv	45/iv Lane in Kahatapitiya Road (Slaughter House)	78 (Gravel Road)	2.50	Kahatapitiya Road	To Pradeshiya Sabha Limit
46	A. Wiliam Avenue	66 (Gravel Road)	2.50	Kaltota Road	To Pradeshiya Sabha Limit
47	Maha Vidyala Road	100 (Gravel Road)	3.00	Kaltota Road	To Pradeshiya Sabha Limit
48	Alabhdeen Avenue	300 (Tar)	3.00	Kaltota Road	To Pradeshiya Sabha Limit
48/i	48/i Lane in Alabhdeen Mawatha	125 (Tar)	3.00	Alabhdeen Avenue	To Pradeshiya Sabha Limit
49	Ceylani Vidyala Road	110 (Tar)	3.00	Kaltota Road	To Pradeshiya Sabha Limit

50	Lanka Barana Watta Road Dehisthalawa Thalama	105 (Tar)	3.50	Kaltota Road	To Pradeshiya Sabha Limit
51	Dehisthalawa Thalama Road	55 (Tar)	3.00	Kaltota Road	To Pradeshiya Sabha Limit
52	Hunukumbura Road	190 (Tar)	4.50	Bazaar	To Pradeshiya Sabha Limit
53	Playground Road	200 (Tar)	6.50	Bazaar	To Playground
54	Rest House Access Road	105 (Tar)	8.50	Bazaar	Old Road
55	Power House Road	80 (Tar)	8.50	Bazaar	To New Town
56	Church Road	360 (Tar)	7.00	Bazaar	Old Road
56/i	Weerasundararama Road	230 (Tar)	2.50	Church Road	Church Road
57	Rest House Road	60 (Tar)	3.00	Old Road	Rest House Road
58	Dewata Road	100 (Tar) 6+	3.00	Old Road	Pettigala Road
		23 (Gravel Road)	3.00	Old Road	Pettigala Road
		26 (Concrete)	1.50	Old Road	Pettigala Road
		205 (Foot Path)	2.50	Old Road	Pettigala Road
59	Old Post Office Road	125 (Tar)	2.50	Old Road	To Urban Council Limit
60	Pettigala Road	1200 (Tar)	4.50	Old Road	To Pradeshiya Sabha Limit
61	Water Tank Road	270 (Tar)	2.50	Old Road	To Urban Council Limit
62	Karawketiya Kotugodella Road	300 (Tar)	4.50	Old Road	Pettigala Road
		645 (Tar)	2.50	Old Road	Pettigala Road
62/i	Karawketiya Kotugodella 62/i Lane	93 (Tar)	2.60	Karawketiya Kotugodella Road	Urban Council Limit
62/ii	Karawketiya Kotugodella 62/ii Lane	165 (Tar)	2.50	Karawketiya Kotugodella Road	Urban Council Limit
62/ii/i	Karawketiya Kotugodella 62/ii/i Lane	56 (Tar)	2.40	Karawketiya Kotugodella Road	Urban Council Limit
62/iii	Karawketiya Kotugodella 62/iii Lane (Executive Engineers Office)	357 (Tar)	2.50	Karawketiya Kotugodella Road	Urban Council Limit
		44	4.00	Karawketiya	Urban Council

	adjoin Road)	(Gravel Road)		Kotugodella Road	Limit
62/iv	Karawketiya Kotugodella 62/iv Lane (Tamil Vidyalaya Road)	110 (Tar)	2.50	Karawketiya Kotugodella Road	Urban Council Limit
62/v	Karawketiya Kotugodella 62/v Lane	190 (Gravel Road)	3.50	Karawketiya Kotugodella Road	Urban Council Limit
62/vi	Karawketiya Kotugodella 62/vi Lane (Karawketiya Horaketiya Road)	300 (Tar)	2.50	Karawketiya Kotugodella Road	To Pradeshiya Sabha Limit
62xvi	Karawketiya Kotugodella 62/xvi Lane	200 (Tar)	2.45	Karawketiya Kotugodella Road	Urban Council Limit
62xv	Karawketiya Kotugodella 62/xv Lane (Dangamuwa Walawwa Road)	170 (Tar)	2.40	Karawketiya Kotugodella Road	Urban Council Limit
63	Adjoining Road of Mr. E.L. Home	60 (Tar)	2.50	Old Road	Urban Council Limit
		30 (Gravel Road)		Old Road	Urban Council Limit
64	Senaka Place Road	185 (Tar)	2.50	Old Road	Urban Council Limit
65	Samagi Mawatha front Road	140 (Tar)	2.50	Rathnapura Road	Urban Council Limit
		10 (Gravel Road)	3.00	Rathnapura Road	Urban Council Limit
66	Samagi Mawatha	800 (Tar)	3.00	Rathnapura Road	Urban Council Limit
66/i	Samagi Mawatha 66/i Lane	100 (Gravel Road)	3.00	Samagi Mawatha	Urban Council Limit
66/ii	Samagi Mawatha 66/ii Lane	290 (Tar)	2.50	Samagi Mawatha	Urban Council Limit
66/ii/i	Samagi Mawatha 66/ii/i Lane	125 (Gravel Road)	3.00	Samagi Mawatha	Urban Council Limit
66/iii	Samagi Mawatha 66/iii Lane	130 (Tar)	2.50	Samagi Mawatha	Kaltota Road
		85 (Gravel Road)		Samagi Mawatha	
67	Wawegedara Road	135 (Gravel Road)	3.50	Rathnapura Road	Urban Council Limit

68	Goraketiya Road	180 (Tar)	2.60	Rathnapura Road	Urban Council Limit
69	Ellekumbura Road	210 (Tar)	2.50	Rathnapura Road	To Pradeshiya Sabha Limit
		75 (Gravel Road)	3.00		
70	Water Tank Terres Road Ellepola	60 (Stair)	1.00	Rathnapura Road	Urban Council Limit
71	Bulugahayata Road	6 (Terres)	1.00	Rathnapura Road	Urban Council Limit
		10 (Gravel Road)	1.00	Rathnapura Road	Urban Council Limit
		14 (Gravel Road)		Rathnapura Road	Urban Council Limit
72	Saraswathi Watta Road	550 (Tar)	3.30	Rathnapura Road	To Pradeshiya Sabha Limit
72/i	Saraswathi Watta Road 72/i Lane	76 (Terres)	1.00	Saraswathi Road	Urban Council Limit
		16 (Gravel Road)	2.00	Saraswathi Road	Urban Council Limit
		45 (Gravel Road)	3.00	Saraswathi Road	Urban Council Limit
72/ii	Saraswathi Watta Road 72/ii Lane	75 (Gravel Road)	2.50	Saraswathi Road	Urban Council Limit
72/iii	Saraswathi Watta Road 72/iii Lane	35 (Terres)	1.00	Saraswathi Road	Saraswathi Road
		47 (Gravel Road)	3.00	Saraswathi Road	Saraswathi Road
72/iv	Cemetery Road	125 (Gravel Road)	3.50	Saraswathi Road	Saraswathi Road
73	1 <sup>st</sup> Lane adjoining (Mr. Siril Home) Pettigala Road	69 (Tar)	2.50	Pettigala Road	Urban Council Limit
74	Miriskotuwa Road	180 (Tar)	3.00	Pettigala Road	Urban Council Limit
74/i	Miriskotuwa Road 74/i Lane	27 (Gravel Road)	1.50	Miriskotuwa Road	Urban Council Limit
74/ii	Miriskotuwa Road 74/ii Lane	21 (Tar)	2.50	Miriskotuwa Road	Urban Council Limit
		22 (Gravel Road)	3.00	Miriskotuwa Road	Urban Council Limit
74/iii	Miriskotuwa Road 74/iii Lane	100 (Tar)	2.50	Miriskotuwa Road	Urban Council Limit

		50 (Gravel Road)	3.00	Miriskotuwa Road	Urban Council Limit
74/iii/i	Miriskotuwa Road 74/iii/i Lane	36 (Gravel Road)	1.80	Miriskotuwa Road 74/iii Lane	Urban Council Limit
75	Paragaha Kumbura Road	440 (Tar)	2.50	Pettigala Road	Urban Council Limit
76	Housing Scheme Road (Bombuwa)	110 (Gravel Road)	3.00	Pettigala Road	Urban Council Limit
77/i	Acharimalewatta First Road	140 (Tar)	2.50	Pettigala Road	Urban Council Limit
		86 (Gravel Road)	5.00	Pettigala Road	Urban Council Limit
78	Bombuwa Amuna Road	183 (Gravel Road)	3.00	Pettigala Road	To Pradeshiya Sabha Limit
79/ii	Acharimale Road	112 (Tar)	3.00	Pettigala Road	To Pradeshiya Sabha Limit
80	Temple Premises Road (Pettigala Road)	240 (Gravel Road)	5.00	Pettigala Road	To Pradeshiya Sabha Limit
80/i	Ranaviru Weligala Mawatha	105 (Tar)	2.40	Temple Premises Road	Paragaha Kumbura Road
		53 (Concrete)	2.00	Temple Premises Road	Paragaha Kumbura Road

**Note:**

1. Time to time Urban Development Authority may define or amend the building lines for above-mentioned roads.
2. The Urban Development Authority may relax certain requirements in respect of certain roads and foot paths in consultation with the Local Authority after taking into consideration, the difficult conditions of the terrain.

## Annexure 02

### Planning Specification for Sloppy Lands in Residential Zones

#### 2.1 Residential Zone I

<b>Gradient (Degrees)</b>	<b>Minimum Extent of Lot (sq.m.)</b>	<b>Lot Coverage (%)</b>	<b>Floor Area Ratio</b>	<b>Maximum Height (m)</b>	<b>Minimum Width of Lot (m)</b>
0-10	150	66	2.50	9	5.0
10-20	175	66	2.00	9	6.0
20-35	200	60	1.5	6	8.0
35-45	225	55	1.2	6	10.0
45-60	300	50	0.75	3	10.0
60<	Permission not granted for any construction	-	-	-	-

#### 2.2 Mixed Residential Zone

<b>Gradient (Degrees)</b>	<b>Minimum Extent of Lot (sq.m.)</b>	<b>Lot Coverage (%)</b>	<b>Floor Area Ratio</b>	<b>Maximum Height (m)</b>	<b>Minimum Width of Lot (m)</b>
0-10	250	66	5	9	5.0
10-20	300	66	1.5	9	6.0
20-35	350	60	1.2	6	8.0
35-45	500	55	1.0	6	10.0
45-60	600	50	0.5	3	15.0
60<	Permission not granted for any construction	-	-	-	-

Street Line and Building Line in Balangoda Urban Council Area are same.

### Annexure 03

#### Road reservation for Balangoda Urban Council Area

Serial No.	Name of the Road	Category	Building Limit from the Centre of the Road	
			Foot	Meters
1.	Colombo-Badulla Road	A	50	15
2.	Balangoda Old Road	B	50	18
3.	New By-pass Road	A	60	18
4.	Balangoda-Kaltota Road	B	40	12
5.	Balangoda-Rassagala Road	B	40	12
6.	Balangoda-Massenna Road	E	30	9
7.	Naslowatta Road	E	20	6
8.	Seranagedara Road	E	20	6
9.	Karadiyamulla Road	D	20	6
10.	Gamagedara Road	E	20	6
11.	Rapiwatta Road	E	20	6
12.	Gantota Ganga Addara Road	E	20	6
13.	Gantota Gangarama Temple adjoin Road	E	20	6
14.	Janapada Road	E	20	6
15.	Kirindigala Polgahagoda Road	E	20	6
16.	Anadamethgama Road	E	20	6
17.	Anadamethgama 1 <sup>st</sup> Lane	E	20	6
18.	Anadamethgama 2 <sup>nd</sup> Lane	E	20	6
19.	Kaluwella Housing Scheme Road-Kohilamulla	E	20	6
20.	Weligaranawa Road (Circular Road)	E	20	6
21.	Weligaranawa 1 <sup>st</sup> Lane (Polgahagoda Road)	E	20	6
22.	Weligaranawa 2 <sup>nd</sup> Lane (Arangalawatta Road)	E	20	6
23.	Weligaranawa 3 <sup>rd</sup> Lane	E	20	6
24.	Interior Road adjoin Jayathunga Florist	E	20	6



25.	Kirindigala Catholic Cemetery Road	E	25	7.5
26.	Buddhajayanthi Road	E	20	6
27.	Buddhajayanthi 1 <sup>st</sup> Lane	E	20	6
28.	Medakirindigala Road	E	20	6
29.	Medakirindigala 1 <sup>st</sup> Lane	E	20	6
30.	Medakirindigala 2 <sup>nd</sup> Lane	E	20	6
31.	Medakirindigala 3 <sup>rd</sup> Lane	E	20	6
32.	Wetnol Road	E	20	6
33.	Sandungama Road	E	20	6
34.	Sandungama 1 <sup>st</sup> Lane	E	20	6
35.	Bogahahena Road (Risana Service Centre Road)	E	20	6
36.	Kivulawela Road	E	20	6
37.	Sudarshanapura Road	E	20	6
38.	Sudarshanapura 1 <sup>st</sup> Lane	E	20	6
39.	Sudarshanapura 2 <sup>nd</sup> Lane	E	20	6
40.	Electricity Board front Road	E	20	6
41.	Delgahahena Road	E	20	6
42.	Deniyakumbura Road	E	20	6
43.	Bulathgama Tamil School Road	E	20	6
44.	Bulathgama Tamil School Road 1 <sup>st</sup> Lane	E	20	6
45.	Bulathgama Tamil School front Road	E	20	6
46.	Bulathgama Tamil School front of 1 <sup>st</sup> Lane	E	20	6
47.	Bulathgama Tamil School front of 2 <sup>nd</sup> Lane	E	20	6
48.	Lady'smith Watta Road	E	20	6
49.	Puwakgahamulla Road	E	20	6
50.	Pallewela Road	E	20	6
51.	Pallewela Road 1 <sup>st</sup> Lane	E	20	6
52.	Pallewela Road 1 <sup>st</sup> Lane 1 <sup>st</sup> Road	E	20	6
53.	Rest House Watta Road 1 <sup>st</sup> Lane	E	20	6
54.	Rest House Watta Road (In front of 1 <sup>st</sup> Lane)	E	20	6
55.	Rest House Watta Road 2 <sup>nd</sup> Lane	E	20	6
56.	Rassagala Road connecting	E	20	6

	Welipanawatta Land Road (Garaj Road)			
57.	Sri Sunandarama Circular Road	E	20	6
58.	Bulathgama Thalawa Road	E	20	6
59.	Ananda Maythri Mawatha	E	20	6
60.	Dorawela Road	E	20	6
61.	Mugunamale Road	E	20	6
62.	Balagahamula Hello Academy Road	E	20	6
63.	Faleel Hajjir Mawatha	E	20	6
64.	Church front Road	E	20	6
65.	Kirimandala front Road	E	20	6
66.	Dunugahamadalawatta Road	E	20	6
67.	Bethaheel Mawatha	E	20	6
68.	Kahatapitiya Road	E	20	6
69.	Kahatapitiya Road N.M. Subayr Haleem Mawatha	E	20	6
70.	Kahatapitiya Road 45/ii Lane	E	20	6
71.	Kahatapitiya Road 45/iii Lane	E	20	6
72.	Kahatapitiya Road 45/ii Lane (Slaughterhouse Road)	E	20	6
73.	A. William Mawatha	E	20	6
74.	Maha Wila Road	E	20	6
75.	Alabdeen Mawatha	E	20	6
76.	Alabdeen Mawatha 48/i Lane	E	20	6
77.	Jeylani Vidyala Road	E	20	6
78.	Lanka Barana Watta Road	E	20	6
79.	Dehisthalawa Thalawa Road	E	20	6
80.	Hunukumbura Road	E	20	6
81.	Playground Road	E	20	6
82.	Rest House Entrance Road	E	20	6
83.	Power House Road	E	20	6
84.	Weerasundararama Road	E	20	6
85.	Weerasundararama Road Circular Road	E	20	6
86.	Rest House Road	E	20	6
87.	Dewata Road	E	20	6
88.	Old Post Office Road	C	30	9
89.	Pettigala Road	E	20	6

90.	Water Tank Road	E	20	6
91.	Karawketiya Kotugodella Road	E	20	6
92.	Karawketiya Kotugodella 62/i Lane	E	20	6
93.	Karawketiya Kotugodella 62/ii Lane	E	20	6
94.	Karawketiya Kotugodella 62/ii/i Lane	E	20	6
95.	Karawketiya Kotugodella 62/iii Lane	E	20	6
96.	Karawketiya Kotugodella 62/iv Lane (Tamil School Road)	E	20	6
97.	Karawketiya Kotugodella 62/v Lane	E	20	6
98.	Karawketiya Kotugodella 62/vi Lane (Karawketiya Horaketiya Road)	E	20	6
99.	Karawketiya Kotugodella 62/xvi Lane	E	20	6
100.	Karawketiya Kotugodella 62/xv Dangamuwa Walawwa Road	E	20	6
101.	Adjoin Road Mr. E.L. House	E	20	6
102.	Senaka Pedesa Road	E	20	6
103.	Samagi Mawatha front Road	E	20	6
104.	Samagi Mawatha	E	20	7.5
105.	Samagi Mawatha 66/i Lane	E	20	6
106.	Samagi Mawatha 66/ii Lane	E	20	6
107.	Samagi Mawatha 66/ii/i Lane	E	20	6
108.	Samagi Mawatha 66/iii Lane	E	20	6
109.	Wewegedara Road	E	20	6
110.	Goraketiya Road	E	20	6
111.	Ellekumbura Road	E	20	6
112.	Water Tank Terres Road Ellepola	E	20	6
113.	Bulugahayata Road	E	20	6
114.	Saraswathi Watta Road	E	20	6
115.	Saraswathi Watta Road 72/i Lane	E	20	6
116.	Saraswathi Watta Road 72/ii Lane	E	20	6
117.	Saraswathi Watta Road 72/iii Lane	E	20	6

118.	Cemetery Road	E	20	6
119.	Pettigala Road 1 <sup>st</sup> Lane (Adjoin Road Mr. E.L. House)	E	20	6
120.	Miris Kotuwa Road	E	20	6
121.	Miris Kotuwa Road 74/i Lane	E	20	6
122.	Miris Kotuwa Road 74/ii Lane	E	20	6
123.	Miris Kotuwa Road 74/iii Lane	E	20	6
124.	Miris Kotuwa Road 74/iii/i Lane	E	20	6
125.	Paragaha Kumbura Road	E	20	6
126.	Housing Scheme Road (Bombuwa)	E	20	6
127.	Acharamale Watta i Road	E	20	6
128.	Bombuwa Amuna Road	E	20	6
129.	Acharimale ii Road	E	20	6
130.	Temple Premises Road (Pettigala Road)	E	20	6
131.	Ranaviru Weligala Mawatha	E	20	6

**Note:**

1. Time to time Urban Development Authority may define or amend building lines for above-mentioned roads.
2. The Urban Development Authority may relax certain requirements in respect of above-mentioned certain roads and foot paths in consultation with the Local Authority after taking into consideration the different conditions of the terrain.

#### **Annexure 04**

##### **Reservation for Rivers and Canals**

Land reservation for rivers and canals are determined from the bank of the particular river and canals. Canals reservations are as follows in the area.

<b>Name of River and Canals</b>	<b>Reservation from the Bank</b>	
	<b>Meters</b>	<b>Feet</b>
Wee Ganga	10	33
Dorawela Oya	3	10
Others	3	10

Source: Divisional Secretariat, Balangoda

#### **Annexure 05**

##### **Dangerous and Offensive Trade**

1. Processing and refining the following
  - i. Arecanut
  - ii. Animals blood and in related offal
  - iii. Bricks and tiles
  - iv. Copra, coir and machine coconut oil
  - v. Organic and chemical fertilizer
  - vi. Fiber and fiber related industries
  - vii. Soda
  - viii. Lime
  - ix. Mechanical matchsticks and fire crackers
  - x. Rubber
  - xi. Graphite
  - xii. Leather
  - xiii. Tobacco
  - xiv. Soap
  - xv. Vinegar
2. Fabric painting and hide processing
3. Storing following items other than for retail trade
  - i. Animal bones
  - ii. Coal and charcoal

- iii. Organic and chemical fertilizer
  - iv. Copra
  - v. Cotton fabric
  - vi. Fiber
  - vii. Fish
  - viii. Mineral Oil
  - ix. Raw hide
  - x. Hay
4. Following dangerous and offensive industries
- i. Quarries, cabok and gravel
  - ii. Mining (Except permitted zone)

#### **Annexure 06**

##### **Floor Area Ratio**

<b>Zones</b>	<b>Maximum Floor Area Ratio</b>
Residential Zone	2.5>
Mixed Residential Zone	3.0>
Commercial Zone	5.0>
Government and Semi Government Zone	2.5>
Others	0.25>

Source: Urban Development Authority

**Annexure 07****Reservation Requirements for Mining**

Construction	Reservation Limit	
	Meter	Foot
Road (From centre of the road)		
1. Road Development Authority Road		
* A Road	* 45	* 150'0"
* B Road	* 20	* 66'0"
* C Road	* 13	* 44'0"
2. Other Road	* 7	* 22'0"
3. Private Road	* 3	11'0"
Water Ways (From the tank)		
1. River	10	33'0"
2. Canal	7	22'0"
Construction		
1. Bridge and culvert	10	33'0"
2. Storied buildings	20	66'0"
3. Other buildings	10	33'0"
4. Playground	10	33'0"
5. Other Construction	3	10'0"

Note:

\* Digging of tunnel violating the condition of the permit is prohibited.

**Annexure 08****List of Conserved Buildings**

Place	Address	Assessment No.
Thumbagoda Ancient Temple	Thumbagoda, Balangoda	89
Old House (Mr. H.M. Abusali)	491, Kalthota Road, Balangoda	491
Rathwatte Walawwa Anil Bandara Rathwatte	Bans Rathwatte Mawatha, Balangoda	86
Kumara Vidyala Old Building	Kumara Vidyalaya, Balangoda	-

**PLANNING AND BUILDING REGULATIONS**  
**PART I**  
**GENERAL REGULATIONS**

**1. Introduction**

1. These regulations will be known as Planning and Building Regulations for Balangoda Urban Council Area and will come into operation with effect from ..... 2013.

**2. Submission of Plans Approvals**

1. All applications under Section 8J of the Urban Development Authority (Amendment) Act No. 4 of 1982 for the purpose of obtaining a development permit to engage in any development activity shall be made in the Form “A” and “B” Schedule (I) of these Regulations and be accompanied by the fees specified in “Schedule V”.
2. All plans submitted under these Regulations:-  
  
Shall be prepared by a qualified person except for the following;
  - (a) Alteration and addition not affecting the structure of the building and not exceeding 50 sq. meters.
  - (b) Residential buildings with single or two floors not exceeding 250 sq. meters floor area where walls or columns are not situated on property boundary.
  - (c) Non residential buildings with single or two floors not exceeding 150 sq. meters floor area where walls or columns are not situated on a property boundary.
3. The Authority or an officer authorized by the Authority shall certify the accuracy and the clarity plans, submit above Section (II).
4. Be signed by the owner of the site or premises; and
5. Be submitted in triplicate.



3. (i) The Authority may, where it deems necessary require the submission of additional copies including enlargements of the plans submitted under Regulation 2 (ii).
- (ii) The Authority may require production of such additional particulars and plans as it deems necessary in order to satisfy itself as to the exact nature of the development activity envisaged.
4. All plans submitted for the purpose of obtaining a development permit shall consist of :-
  - (i) Where no building work is involved in the development activity or it is restricted to land development :-
    - (a) A location plan of the site in relation to the adjoining streets to a scale of not less than 1:4000;
    - (b) A survey plan of the site to a scale of not less than 1:1000 showing :-
      - (i) The location of the site including figured dimensions of buildings, if any;
      - (ii) The scale of the Plan, the north point and the assessment numbers of adjoining lots or buildings;
      - (iii) The means of access to the site and width
      - (iv) All existing drains and water courses; and
      - (v) Contours or spot levels of site and levels on the street or street in front of site, where necessary;
    - (c) A detailed blocking out plan to a scale of not less than 1:1000 shall be submitted showing the proposed sub division of lots together with their dimensions; the directions, length, width and levels of all proposed streets, open spaces and spaces for other amenities to be reserved; and the purposes for which every site will be used.
  - (ii) Where building work is involved in the development activity ;
    - (a) A sketch plan of the site and surrounding area sufficient to locate the building site.
    - (b) The approved blocking out plan to a scale of not less than 1:1000; showing:

- (c) A floor plan of each storey drawn to a scale of 1:100 except where the building is more than 1000 m as to render a smaller scale necessary when the scale of 1:200 may be used showing:-
  - (i) Figured dimensions of the building, rooms and different parts of the building and the use for which every room and part of the building is intended to be put to;
  - (ii) The positions and dimensions of all doors, windows and other openings;
  - (iii) The positions of all sanitary appliance and their connection to sewer lines;
  - (iv) Fire escapes
  - (v) Clearance from overhead electricity supply lines;
  - (vi) The type of materials and specifications to be used for the walls, super structure and floor slabs and roof structure of the building;
- (d) Cross and longitudinal sectional drawings of the building along appropriate lines, showing:-
  - (i) The thickness of all walls, roofs, foundations, trusses and the other relevant parts.
  - (ii) The position and dimensions of doors, windows or other openings, the height of every storey, the ceiling height and levels of the building in relation to existing ground or street level and the clear distances between the site boundaries and the external walls of the building;
- (e) Front and side elevations of the building showing elevations of every existing building within the site showing its height, floor level and other external visible features;
- (f) The means of disposal of rain water;
- (g) A statement as to whether the building is to be centrally air conditioned; and
- (h) Such other particulars or information relating to the building as the Authority may require in order to satisfy itself as to the exact nature of the development activity envisaged;

5. All plans shall be drawn neatly and accurately in black ink, marking all additions to existing building works in red colour, and all proposals in respect of all parts of any existing building and features that are to be retained or removed in dotted lines, a distinct manner by colour or notation.

**6. Building Categories**

For the purpose of these regulations, buildings shall be categorized as follows:

1. Category A - Means any building consisting of five or more floors including the ground floor or any building the height of which exceeds 15 meters above the adjoining street.
2. Category B - Comprises any building, not being a high rise building which consist of ;
  - i. Not more than four floors, including the ground floor, where a wall or column is situated on the boundary;
  - ii. A basement - roof, foundations, beams and other related parts of the building;
  - iii. A pile or raft foundation;
  - iv. A roof span exceeding ten meters;
  - v. A place of public assembly or a public building;
  - vi. A building which is wind sensitive such as warehouses and factory; and
  - vii. Any other type of building not covered under categories A and C;
3. Category C - Shall comprises of the following Sub Categories -

- |     |       |   |  |
|-----|-------|---|--|
| (a) | C I   | - | (i) Any building which is used for residential purposes and shall not exceed Five Hundred (500) sq.m. in extent which does not fall under Category “B”.<br><br>(ii) Any building which is used for non residential purpose and does not exceed Three Hundred (300) sq.m. in extent which does not fall under Category “B”. |
| (b) | C II  | - | (i) Any building which is used for residential purpose and does not exceed Four Hundred (400) sq.m. in extent which does not fall under Category “B”.<br><br>(ii) Any building which is used for non residential purpose and does not exceed Two Hundred (200) sq.m. which does not fall under Category “B”.               |
| (c) | C III | - | (i) Any building which is used for residential purpose and does not exceed Two Hundred (200) sq.m. in extent and is not covered under Category “B”.<br><br>(ii) Any building which is used for non residential purpose and does not exceed Hundred (100) sq.m. which is not covered under Category “B”.                    |

## 7. Submission of Architectural, Structural and Service Plans

- (1) An application shall, prior to the commencement of any building works in respect of all buildings other than those buildings falling within sub Category C III of Category C, submit detailed structural plans along with the design calculations of the proposed building. such plan shall be signed by a qualified person.
- (2) The detailed structural plans along with the design calculations of the proposed building, signed by a qualified person shall -
  - (a) In relation to all buildings falling within Category A and Category B of regulation 6; and

- (b) In relation to buildings falling within Sub category C I and C II of Category C of regulation 6, if required to do so by the Authority,

Shall consist of the following –

- (i) A statement indicating in clear and precise language, the manner in which the superimposed load for which each floor system or part thereof has been designed;
  - (ii) The results of any soil tests carried out, the calculations for determination of soil bearing capacity and earth boring investigations; and
  - (iii) The type or types of the foundation which is recommended to be used;
- (3) Where any air conditioning or mechanical ventilation system shall be installed in a building or part thereof or where any such system therein shall be extended or altered the layout and detailed plans of the installation, extension or alteration to be carried out, with information pertaining to capacities, shall be submitted by a qualified person to the Authority for approval along with plans of the building in which the system shall be installed, extended or altered.
  - (4) The applicant shall submit before commencing building work in respect of all buildings mentioned in Category A and Category B and if required by the Authority in the case of building falling within Sub Category C I and C II of Category C, service plans relating to water supply, sewerage, drainage and rain water harvesting. Such service plan shall be prepared and signed by a qualified person.
  - (5) The applicant shall submit before commencing building work in respect of all buildings mentioned in Category A and Category B and if required by the Authority in the case of buildings in falling within Sub Category C I and C II of Category C, service plans relating to Electricity prepared and signed by a qualified person.

## **8. Preliminary Planning Clearance and Approval of Plans**

- i. The preliminary planning clearance should be requested in writing in the Form “C” given in Schedule 1 of these Regulations. Preliminary clearance may be given subject to such conditions and restriction. It is only a recommendation of the intended development activity for the particular site. The approval proper

should be obtained by the applicant by submitting detailed plans for the specific development proposal.

- ii. It shall be valid for a period of one year.
- iii. The Preliminary Clearance will not constitute a permit and shall not entitle the applicant or any person to commence or carry out any Development Activity whatsoever.
- iv. Every development permit granted shall be in writing and shall be subject to the restrictions and conditions set out therein.
- v. The Authority may on application and payment of prescribed fees extend the validity of the permit for a further period not exceeding two years, if it is satisfied that the development activity referred to in the permit has been commenced but not been completed due to unforeseen circumstances.

## **9. Appeals against Refusal**

Any person aggrieved by the decision of the Authority refusing to issue a permit, may within thirty days (30) of receiving notice of such refusal appeal to the Minister.

## **10. Development to be in Conformity with the Permit**

- i. No Development Activity shall be commenced or carried out in contravention of the Development permit.
- ii. The Development Permit may be revoked by the Authority if, there is:-
  - (a) A breach in terms of condition of the permit,
  - (b) A contravention in the provisions of these Regulations
  - (c) A mis-presentation of facts in the application, plans or other documents submitted by the applicant, or
  - (d) Failure to submit plans and other particulars under Regulation 7.

## **PART II**

### **PLANNING REGULATIONS**

#### **11. Suitability of Site**

- i. No development activity shall be carried out in respect of:-
  - (a) a site which has been filled up with any substance impregnated with feacal, animal or vegetable matter unless such substance has been removed and the site cleared completely, or the whole ground surface has been rendered innocuous and covered with a layer of earth or any other suitable material which is at least thirty centimeters thick.
  - (b) Where the land is subject to earth slips, near the mining pits and flooding related unless the particular site in such land is certified as to its suitability for the development activity or for building construction by the National Building Research Organization.
- ii. Any development within cemeteries should be in accordance with cemeteries ordinance No. 089 of 1899.

#### **12. Use of the Site**

No site or building whether existing or to be constructed may be used for any purpose other than that approved by the Authority.

#### **13. Floor Area Ratio**

- i. The floor area ratio should be in conformity with the maximum floor area ratio allowable for that particular site according to the Annexure 1 and 6 of the Volume II of the Balangoda Urban Development Plan.
- ii. A basement for parking vehicles and for installation of air-conditioning or other service machinery may be permitted in excess to the maximum floor area allow as stated above where permanent parking space is provided at ground floor levels as specified in the Schedule 5 of these regulations. Such floor space should be excluded in calculation of the floor area ratio for that site.

## 14. Access

1. No Site or lot abutting a street less than nine metres in width shall be used for non-residential use or construction of any building for such use except as provided under Regulation 14 (ii).
2. (a) Every street meant to serve dwelling units shall be in conformity with the specifications set out in Form “A” of Schedule IV.

If any streets provide access more than 20 units in low density Residential Zone in the Balangoda Development Plan, minimum width of access shall be 6 m.

- (b) Any street that provides access to one or more lots used for constructing non residential housing units may be permitted with access less than 9 meters in width and such street shall be in conformity with specifications set out in “Form B” of Schedule IV.

However, if the Chairman is of the opinion that an undue hardship will be caused to a person in the case of residential use of a lot if the minimum access requirements for dwelling house as stipulated in Schedule IV are to be complied with the minimum width or access may be reduced by not more than 2 metres on the recommendations of the Head of the Local Authority and in consultation with the Planning Committee subject to the following:-

- (i) A minimum width of 3 metres is available for access.
  - (ii) This reduction will not apply in case of a new sub-division.
  - (iii) The area has a semi urban character.
3. All the access road mentioned “B” in the above should be connected to a public road which is not less than 9.0 m in width or a private street of which the land owner has the ownership of such private street or has a right of way which connects on to a public street which is not less than 9.0 m in width.
  4. Every street which is less than nine (9.0) metres in width and exceeds thirty (30) meters in length, shall be provided with a turning circle of not less than nine (9.0) metres in diameter at the dead end.



## **15. Specifications as to Lots**

- i. The minimum extent and the minimum width of lots of buildings which are not high-rising buildings in non residential zone should accordance with specification given in Annexure 02 of Balangoda Urban Development Plan. The minimum extent and width of lot should be 150 sq.m. and 6 m. respectively in the other zones.
- ii. Every lot or site which abuts on to the end of a dead end street may have a frontage not less that the width specified under 15(1) shall be not less than 3.0 metres wide.
- iii. The Authority may relax the requirement of the specified site extent and width in the case of a construction of a building on a site which is not adjoining a Grade “A” or Grade “B” main road provided it has satisfied the other requirements.

## **16. Height of Buildings**

- i. The height of the residential building in Residential Zone in Balangoda Development Plan should accordance with Annexure 2. The minimum height of a building on an existing lot which is six (6.0) metres or less in width and or has less than one hundred and fifty (150) square metres in extent shall not exceed 7.5 metres or two floors unless the Authority directs otherwise.
- ii. If the lot is situated in a corner, the height of the building shall be regulated by the wider of such streets so far as it abuts on the narrower street to a depth of twenty (20) metres from the wider street.
- iii. In measuring the height under this Regulation lifts or motor rooms not exceeding a height of six (6) metres and extent of 55 sq.m. or a staircase room not exceeding a height of 5 metres and extent 25 sq.m. or a water tank not exceeding a height of one and half meters (1.5 metres) shall be ignored.
- iv. If any land abuts to Wee Ganga or Water Course, the height of building to be constructed in such land should be in accordance with zoning regulation of Balangoda Development Plan.

## **17. Street Lines and Building Lines**

- i. Where a street line has been determined by any Regulation, the street line of such street or such road shall be in accordance with such Act or such Regulations.

- ii. The building line on the street side of every lot abutting the street shall be conformity with the specifications and categories set out in the accordance with Annexure 2 of Balangoda Urban Development Plan.
- iii. No building shall extend beyond the building line provided that balconies, sunshades or eaves, not exceeding one (1.0) metres in width may be permitted without compensate in between the building and the street line and a fence or boundary wall not exceeding two metres in height may be permitted on the street line.
- iv. No building line or street line approved or sanctioned by the Balangoda Urban Council shall be varied without the prior approval of the Authority.

**18. Sub Division of Land**

- i.
  - (a) No parcel of land or lot desired or proposed for any use other than Agriculture or Horticulture shall be subdivided unless a plan relating to such sub division has been approved by the Authority.
  - (b) Any person intending to sub-divide a land shall submit to the Authority an application which is in conformity with the requirements of Regulation 4.
- ii. The Authority in approving the plans for sub division of land may require the applicant to modify the plan as it may consider necessary. The sub division of the site shall be carried out only after the approval of the Authority is given.
- iii. The minimum extent and width of lots shall be in accordance with the provisions of Regulation 15.
- iv. No new sub division shall have the effect of reducing the open space, light and ventilation and other requirements of any existing building on the site to less than those required under these Regulations.
- v. No lot in a sub division plan shall be utilized for any purpose other than the purpose for which it was approved.

- 19.** i. Every lot in a sub division shall abut on an existing or proposed public street or a street which is in accordance with the provisions of Regulation 14.

- ii. The minimum width of a carriage way for a street shall be as approved by the Authority, but shall not be less than 3 meters for streets up to 9 meters in width and 5 meters for streets wider than 9 meters.
- 20.**
- i. Where the parcel of land or site to be sub-divided exceeds 01 hectare an area of not less than 10 percent of land or site excluding streets shall be reserved for community recreation and open space uses in appropriate locations except in the following instances:
    - (a) In commercial and industrial land sub divisions, if the minimum and parcel of the sub division is not less than 2,024 sq.m. (80 perches) and all the road widths are not less than 9 meters the land may be sub divided without reserving 10 percent of the land for open space uses but subject to the condition that in the event of further sub division of any of the parcels the developer should either -
      - (i) Reserve the 10 percent of the land so sub-divide; or
      - (ii) Deposit the market value of 10 percent of the land so sub-divided at the relevant Local Authority.
    - (b) In Residential land sub-divisions, if the minimum land parcel of the sub-division is not less than 1,012 sq.m. (40 perches) and the development is limited to two housing units per lot the land may be sub-divided without reserving 10 percent of the land for open space uses but subject to the condition that in the event of further sub-division or construction of more than two housing units per lot, the developer should deposit the market value of 10 percent of the land so sub-divided or developed at the relevant local authority.
    - (c) When the land to be sub-divided is located within 0.5 kilometers from a public open space such as a lake, public playground, etc., which is more than 4,047 sq.m. (one acre) in extent and if the Authority directs the developer, the developer should deposit at the relevant Local Authority the market value of the area land for the open space requirement, instead of providing the open space physically within the site.
    - (d) When the open space requirement of a sub-division is not more than 506 sq.m. (20 perches) in extent or if the local authority directs the developer to do so with the approval of the Chairman of the Urban Development Authority, the developer should deposit at the relevant

Local Authority the market value of the area of land of the open space required for the sub-division instead of providing the open space physically.

- (e) In unauthorized land sub-divisions where the reason for not approving is the non-provision of 10 percent open space, the individual land parcels may be permitted for development or further sub-division subject to depositing at the relevant Local Authority the market value of 10 percent of the land parcel, or reserve 10 percent of the land parcel so developed or sub-divided.

ii. Such reserved spaces shall be vested with the Authority free of all charges.

- 21.** No lot in a sub division shall be put to use or built upon unless the streets are demarcated, open out to their full width and developed with infrastructure to the satisfaction of the Authority.

**22. Layouts for Flats and Housing Units**

The Authority may approve any project for construction of flats or construction of housing units and other integrated projects which is in conformity with this development plan.

**23. Open Spaces around Building**

In any lot of land maximum plot coverage for residential activities should accordance with Annexure 2. Unless otherwise provided in some other place the maximum of coverage permissible on any site is 66 2/3% in case for residential use and 80% for commercial use.

- 24.** i. There shall be in the rear of every building and belonging exclusively to it an open space not less than three (3) metres extending along the entire width of the building unless the rear of the building abuts on to a public street not less than six (6) metres in width;

Provided, that where the building consists of a ground floor and the first floor only and no furthest storeys are proposed to be added, the width of such rear open space may be reduced to 2.25 metres.

- ii. For the purpose of this Regulation the rear of buildings shall be deemed to be the face which is furthest from any street on which the building is situated;

Provided that where the building is situated on more than one street, the rear of the building, unless the Authority otherwise directs shall be deemed to be the face which is furthest from the widest of such streets.

- iii. No building or structure other than cantilevers, sunshades or overhanging balconies not exceeding one meter (1) in width may be allowed in such open space.
- iv. In sites of irregular shape where it is in-practicable to provide an open space to the entire width of the building in the rear, the Authority may direct that the open space in the rear shall be left as it deems appropriate having regard to the circumstances of the case.
- v. In the case of a building where an open space is intended to be provided on the site for purposes of access, maintenance of building, or for separating it from adjoining properties, such open space shall in no case be less than 1.5 meters in width.

## **25. Additional Requirements for High-rise Building**

A site intended to be used for a high-rising building should fulfill the following requirements.

- (a) The site is not less than 1000 square metres in extent and has a dimension of at least 20 metres along the shortest side; and
- (b) The site abuts on to a street which is not less than 12 metres in width.
- (c) A detailed technical report with regard to the resistance capacity of earth on the site and certifying that the site has not been disturbed by mining shall be produced.

## **26. The Authority may permit the constructions of high-rise building in any such site, if it is satisfied that:-**

- (a) The building will not interfere with the supply of amenities to the neighborhood or mere the harmony of the area.
- (b) The building will not create traffic problems and hazards,

- (c) Sufficient arrangement can be made for provision of water supply, sewerage, power safety from fire and other hazards and for parking of vehicles.
- 27.**
- (i) The maximum height of the building shall not exceed twice the horizontal distance between any storey of the building and the further edge of the abutting street.
  - (ii) If the lot is situated in a corner where two streets meet the height of the building shall be regulated by the wider of such streets so far as it will abut on the narrower street to a depth of 25 metres from the wider street.
- 28.**
- (i) There shall be in the least on one side of the building, not being the front or rear side, between the building and the boundary of the site a minimum open space of at least one quarter of the height of the building or 5.5 metres whichever is less.
  - (ii) There shall be in the rear of every building an open space of at least one quarter of the height of the building extending along the entire width of the building.
  - (iii) The open space area under these Regulations shall belong exclusively to the building provided that; The width of open space belonging exclusively to it may be reduced to the extent of the width of any public street which is not less than 6.0 m on which the full length of the rear of the building abuts.
  - (iv) The total area covered by all buildings on any site shall not exceed 80% of the total area of the site and the area not so covered shall belong exclusively to the building and shall be retained as part and parcel thereof.

**29. Parking Facilities**

- (i) Every plan submitted along with the application for the purpose of obtaining a development activities, shall provide for a minimum number of parking spaces within the site at the standards specified in Schedule (V) to these regulations.
- (ii) The dimensions of car parking stalls shall be;
  - (1) Minimum stall width 2.4 metres
  - (2) Minimum stall length 4.8 metres
  - (3) Minimum stall length for parallel parking 5.4 metres

- (iii) The minimum width of aisles shall confirm to the requirements specified in Form “B” of schedule (V).
- (iv) The width of access to car parking area shall not be less than 3 metres clear of foot ways and other obstructions if entry and exist are separately provided and 5.5 metres if entry and exist provided are together.
- (v) The maximum gradient of ramp shall not be steeper than 1:8.
- (vi) Every such ramp shall start only beyond a distance of 6.0 metres from the street edge.
- (vii) In issuing development permits, either the physical width of the road, or the proposed street line which ever the lower measurement shall be taken as the width of the road that will be available for development.

Where the access road to the development site has been marked by an approved street line and the owner of the site assigns the part of land within the street line by a deed either to the Balangoda Urban Council or to the Road Development Authority, Provincial Road Development Authority as the case may be without any additional cost to the relevant institution, the Authority may consider to use the total width of the street line as the actual width of the access road to the development site.

- (viii) In order to effectively control the vehicle movements the provisions shall be made in Balangoda Development Plan for the following matters.
  - (a) For lots with less than 12.0 meter road face width there shall be only one entrance for both entry and exist. However where the road face width is more than 12 meters, for such lots, the Authority may permit to have more than one entrance.
  - (b) Where there are more than 100 parking spaces for residential development sites and more than 50 parking spaces for non-residential development sites appropriately planned in a manner not cause any adverse impact on the movement of vehicle at the access to the development site vehicle parking strips or additional vehicle parking space shall be provided as case may be.

- (c) Where a development activity involves the requirement of parking facilities for more than 50 vehicles, such development activity should not be permitted within 50 meters from a junction of two roads having a traffic flow of more than 10,000 vehicles per day on each road or from a junction of with an average traffic flow of 20,000 vehicles a day.
- (d) No reflective glasses shall be allowed to use on the ground floor, 1<sup>st</sup> floor or 2<sup>nd</sup> floor of a building facing the road.
- (ix) The Authority may request from the police to inquire any building if there is a doubt that development was deviated from approved parking and traffic control measures of proposed/ approved development.
- (x) Where it is found that the parking space permitted has been used for some other purposes, the Authority shall recover a services charge of Rs.5000 per month per vehicle space such reduced. This service charge shall be continued to be levied until the reduced parking spaces are restored.

### **30. Splaying of Corners of Street**

The Authority may require the corner of any buildings including boundary walls or faces to be erected at the corner of two streets be rounded off or splayed to such extent and height as may be necessary in the interests of the safety of the users of the streets.

### **31. Architectural Control**

- i. In conformity with the Balangoda Urban Development Plan, in order to harmonize with the surrounding development, the instructions of the Authority shall be obtained with regard to, architecture, roof, doors and windows, special features and colour façade, height, and open spaces, advertisements and establishment of name boards or any development activity in the commercial zone, government and semi government zones. The Authority may direct the owner to make such modification as it deem necessary in respect of the existing development activities or development activities to be undertaken.
- ii. The Authority, may in any street wholly or mainly occupied by shops or commercial buildings require as a condition of its approval, provision of a public arcade along the face of the building of such character and such width as it may direct.



- iii. The Authority may direct any mechanical or other equipment located on the top of the buildings to be visually screened in such manner as it necessary to provide protection.

### **32. Conservation of Places of Historical or Architectural Interest or Landscape Value**

- i. No addition or alteration or any other activity that will be harmful to the conserved buildings listed in the Annexure 8 of the Volume II of the Balangoda Urban Development Plan shall be undertaken without a proper permit from the Authority.
- ii. Where the Authority considers any premises or area is of scenic or landscape interest it may make necessary arrangements, as it deem fit for the conservation of such building or the area as the case may be.

### **33. Landscape and Tree Preservation**

- i. The Authority in the interest of maintaining environmental sustainability shall prohibit the felling, lopping, or willful destruction of any group of trees or vegetation or altering any significant landscape feature of any site.
- ii. The Authority may require direct an owner to landscape the site of development and maintain it with planning in the manner approved by it.
- iii. If a land or property faces to Wee Ganga, it shall maintain a 10 metres buffer zone covering trees or bamboos strip from the river bank.
- iv. The Authority may order to execute regulation introduced 33 (3) for river, canals and other reservation mentioned in Annexure 4 of Volume II of the Balangoda Development Plan.

### **34. Advertisement Control**

- (i) Prior approval of the Urban Development Authority shall be obtained before exhibiting an advertisement or a name board in accordance with the Urban Development regulations.
- (ii) Such advertisements shall be erected only in a location permitted by the authority.

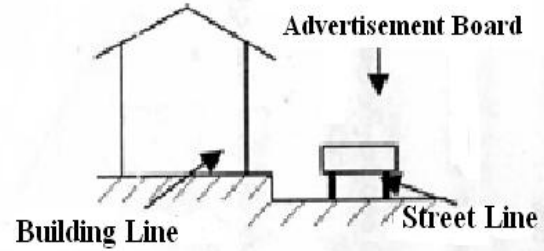
- (iii) Before exhibiting an advertisement or a name board, a sketch plan of the same shall be submitted to the UDA and prior approval obtained.
- (iv) After the erection of such name boards and advertisements, they shall be maintained in good condition and if the maintenance is unsatisfactory, the UDA has the power to remove such installations within 2 weeks after sending a notice to repair the same.
- (v) Permission shall not be granted for the installation of any advertisement (hoarding) or name board, access to the road and within the street line in a manner that would obstruct pedestrian and traffic circulation as shown in the Sketch I of Annexure II.
- (vi) No name board or an advertisement shall be erected at a road junction where four streets are converging except the road direction boards. (See Sketch 2 of Annexure II)
- (vii) No advertisement or name board shall be erected in a manner that would directly obstruct the view of public places such as; schools, temples, churches, hospitals, cemeteries, courts, open areas, scenic areas, mountains. However approval may be given for the erection of such advertisement boards beyond 250 meters of such places.
- (viii) Permission shall not be granted for the display of advertisements which contain messages, which are detrimental to the inherent qualities, and characteristics of the proposed development zones.
- (ix) Permission shall not be granted for the display of an advertisement on the rooftop of a building (Sketch 3).
- (x) In the case of name boards displayed horizontally on the shop fronts of a row of commercial shops abutting streets of a town center, they should conform to a uniform height and also meet the following requirements:-
  - Name boards should be erected parallel to the street line.
  - In the case of buildings which consist of four floors, the area covered by the name boards should not exceed  $1/40^{\text{th}}$  of the building frontage (Sketch 4).
  - Name board should be displayed at a height not less than 2.5 meters from the level of the pavement (Sketch 4)
  - The shape of the name board, the size and the style of the lettering shall be in harmony with the building facade.

- In case of bill boards projecting out side the wall of a building, such projections should not exceed 0.5 meters.

Where a multi-storeyed building owned or rented by different tenants or owners, the name boards displayed in such buildings should conform to the requirements of (x) in 34 regulation (Sketches 5 and 6).

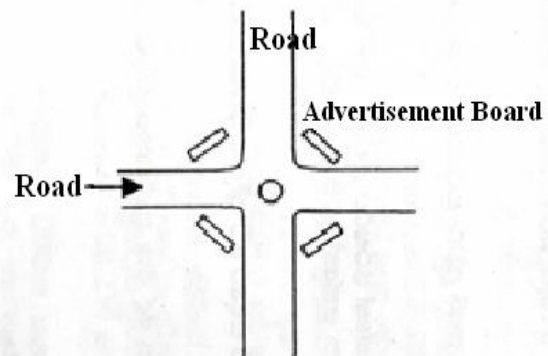
- (xi) No hoarding or name board shall be erected projecting to or across a street (“A” and “B” in Sketch 7).
- (xii) No name board or a hoarding shall be erected at a bend of a roadway (Sketch 8).
- (xiii) Notice Board should be exhibited on the right hand edge of the all roads except on the pedestrianized roads to the driver, such notice boards should be displayed at an angle of 60 degrees to the road (Sketch 9).
- (xiv) No name boards or bill boards shall be permitted to be displayed on road bridges (Sketch 10).
- (xv) Name boards and bill boards shall not be turned out of materials which increase the heat such as steel and reflecting material and the dimensions of such hoardings should have a minimum square area coverage.
- (xvi) Excessive reflecting colours shall not be used for bill boards and notice boards displayed in the town and its periphery.
- (xvii) No advertisement shall be displayed on the surface of the following:
  - Trunk or branch of a tree
  - Parapet wall or wall of a building
  - Bridge, lamp post or telephone post
  - Culvert or a natural rock
  - On either side of a rail track and anything that may prohibited by the Authority (i, ii and iii in Sketch 11)
- (xviii) No hoarding, bill board shall be erected in front of a commercial building or a public building, in a manner that would cover appearance of the building (Sketch 12).
- (xix) No hoarding or notice board shall be permitted on either side of a mountainous Stretch of a road way (Sketch 13).

Sketch 01



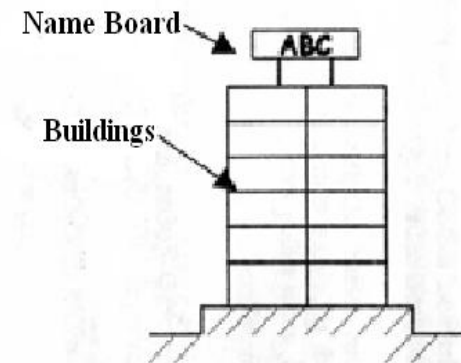
Not Permitted

Sketch 02



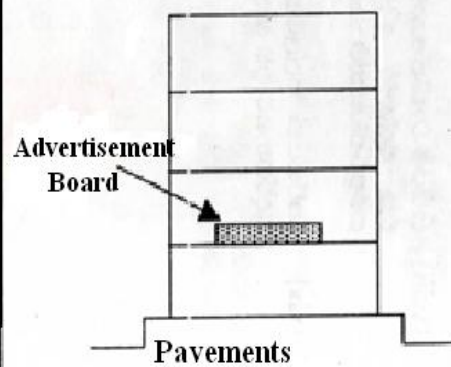
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Sketch 03



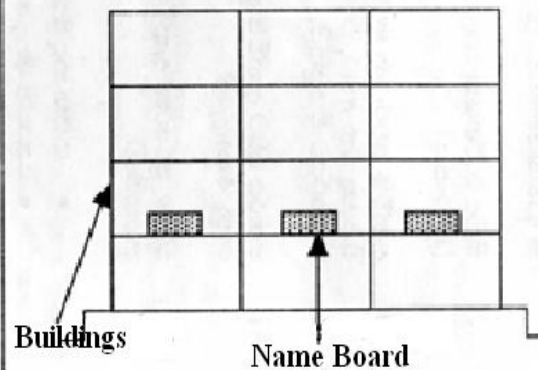
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Sketch 04



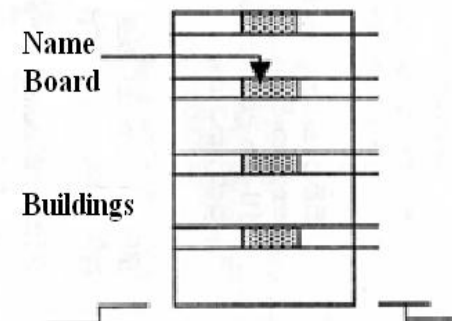
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Sketch 05

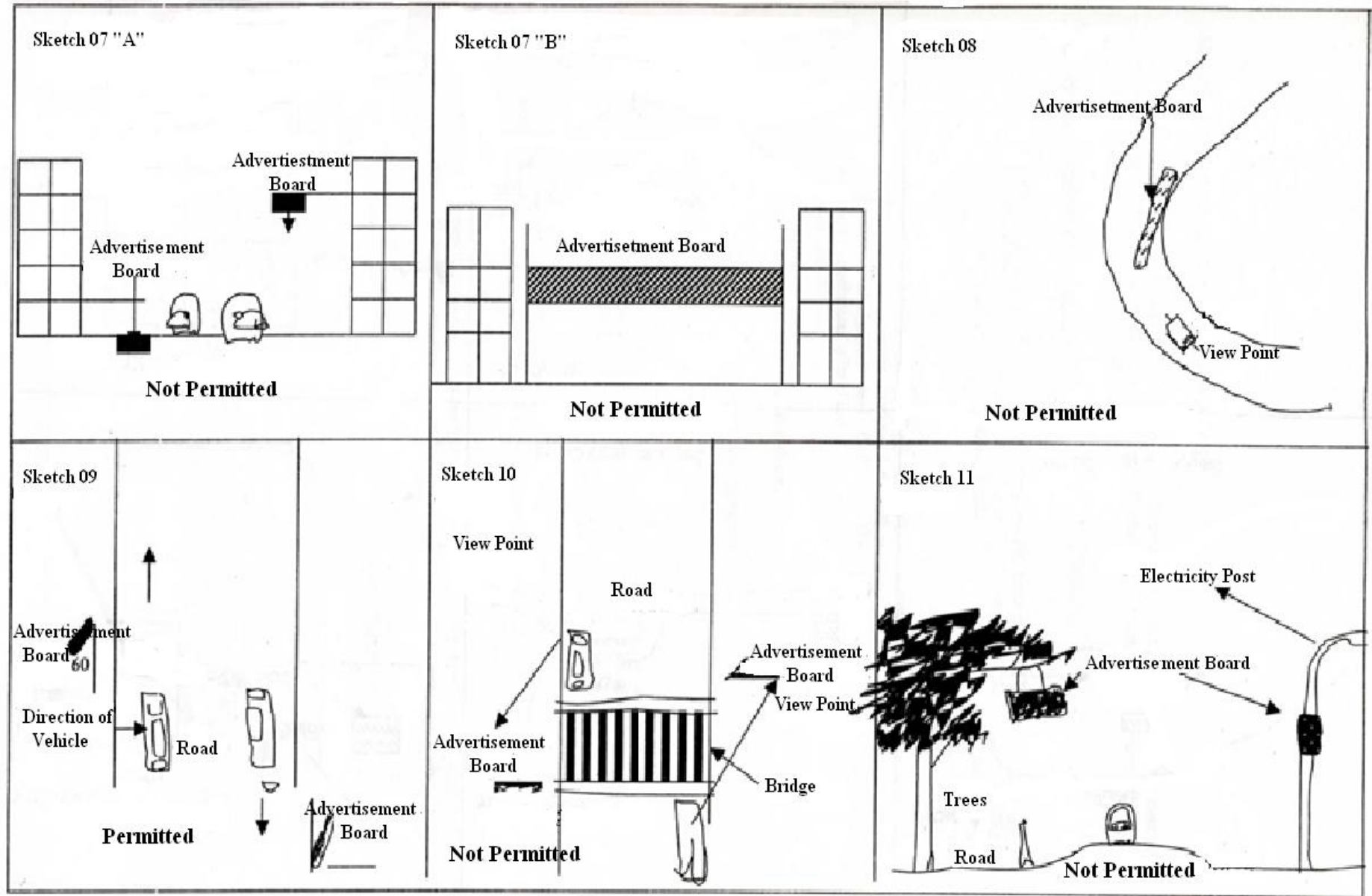


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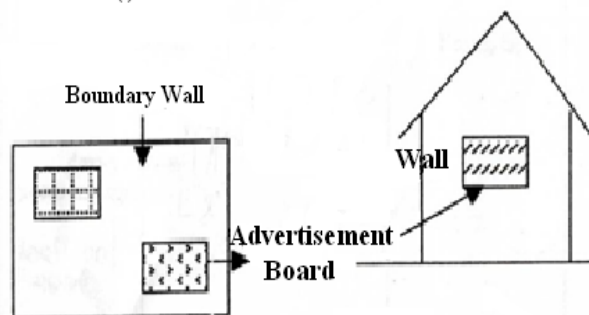
Sketch 06



Permitted

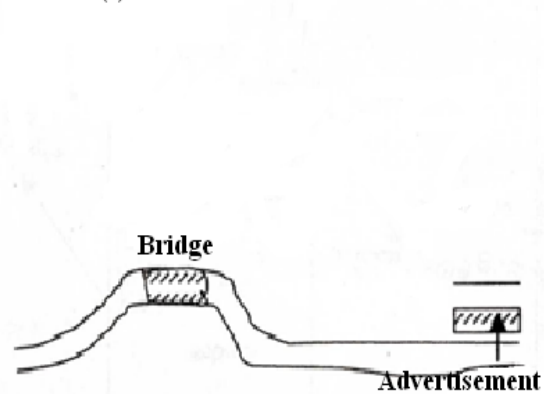


Sketch 11 (i)



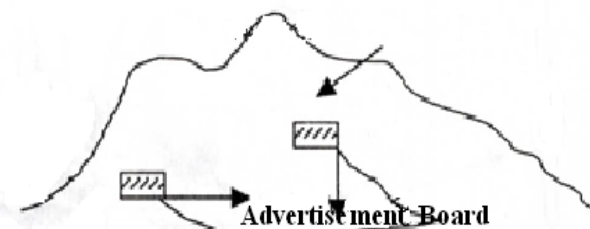
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Sketch 11 (ii)



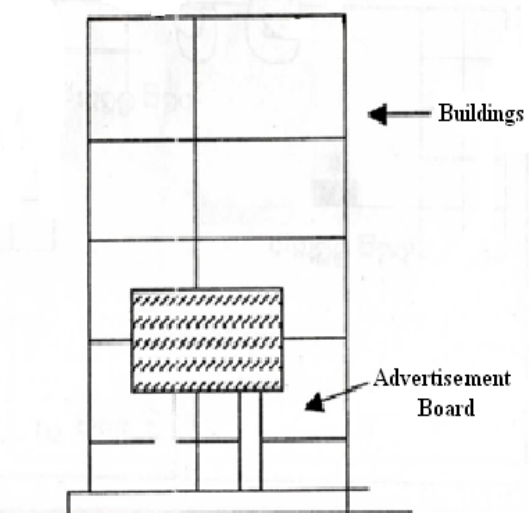
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Sketch 11 (iii)

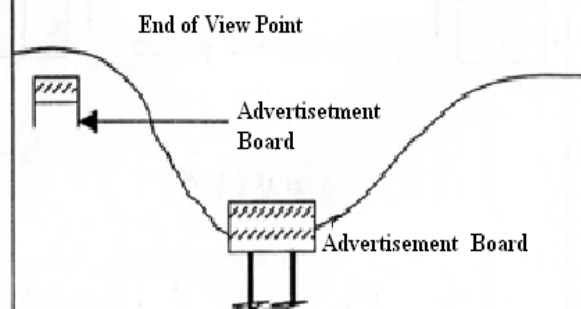


Not Permitted

Sketch 12



Sketch 13



### **35. Buildings in Transmission Path**

The Authority may restrict the height of buildings falling in the line of transmission path of telecommunication, radio, television or similar services in consultation with appropriate agencies.

### **36. Clearance from Electric Lines**

- (i) All buildings shall be separated from any overhead electric supply line vertically by a distance of at least 2.5 metres and horizontally by a distance of 1.5 metres in the case of low tension lines and by not less than 4.5 metres and 2.5 metres respectively in the case of high tension line.
- (ii) Where a building is situated close to high tension electricity line a certificate should be issued by the Electricity Board or by a qualified person certifying that the activities in the building will not be hampered or disturbed.

### **PART III**

## **BUILDING REGULATIONS**

#### **37. Dimensions of Buildings**

The internal clear dimensions of every room in a building other than the rooms specified under Regulation 40 shall not be less than the minimum dimensions specified in Form "A" of Schedule (VI).

**38.** The internal clear dimensions of bath rooms and toilets shall not be less than the minimum specified in Form "B" of Schedule (VI).

- 39.** (i) Storage rooms not requiring legal ventilation shall not have an area in excess of 2.25 square metres not have its width or length exceeding 1.5 metres.
- (ii) The aggregate area of all storage rooms of the dimensions specified above shall not exceed 5% of the floor area of the building.

**40.** The minimum height of rooms shall be:

- (a) For toilets, bath rooms and corridors, not less than 2.1 metres
- (b) For all other rooms in any building, not less than 2.7 metres, provided that beams, trusses and similar supporting structures extending beyond the level of the roof shall not be such as to reduce this height below 2.4 metres at any point.
- (c) In the case of rooms in a building that is Air Conditioned through a central air conditioning system 2.4 metres.

**41.** In the case of rooms with sloping roof the heights shall not be less than those mentioned in Regulations 40 at the mid point of the roof and in no part of the room shall the height be less than 2.1 metres.

#### **42. Stair Case**

- (i) The minimum width of stairs and the minimum dimensions of treads and risers shall be as specified in Form "C" of Schedule (VI). In the case of circular or geometric stairs the widths of the treads measuring at the middle shall not be less than the widths specified in above Schedule. Riser height and tread width shall be constant in any flight of stairs from storey to storey.



- (ii) a. There shall be no obstruction in any staircase between the top most landing and the exist door on the ground floor.
- b. Every staircase, staircase landing, balcony or verandah shall be protected on any side overlooking a courtyard, void or external air space, by either a hand-rail balustrade or parapet which shall have a height of not less than 1.0 metres and shall be of a suitable design and type of construction to prevent any person from falling over the side of such staircase, staircase landing, balcony or verandah.

#### **43. Lighting and Ventilation**

- (i) Every room in a building shall be provided with natural light and ventilation by means of windows, doors or any other approved openings.
- (ii) Every such room of a building to be lighted and ventilated shall have windows and opening through which natural light and ventilation can be obtained, so located that they face and open upon,
  - a. A public street or a street on which the owner of the building has a right of way;
  - b. A courtyard or open space located in the building site.

- 44.** (i) In the case of rooms other than warehouses and factories no part of the room served by such lighting and ventilation openings shall be more than 10 metres away from such opening in a direction perpendicular to the plain of the openings. Further, no part of such room shall be 3 metres away from the edge of the opening in a direction parallel to the plain of the opening.
- (ii) In case of warehouses and factories no part of the room served by such lighting and ventilation opening shall be more than 12 metres away from such opening in a direction perpendicular to the plain of the opening. Further, no part of such room shall be 4 metres away from the edge of the opening in a direction parallel to the plain of the opening.

- 45.** The sources of natural light and ventilation may open upon and enclosed or partly enclosed balcony, verandah or porch, if,

- (a) Such balcony, verandah or porch faces upon a street or upon a courtyard or open space;
  - (b) A maximum depth of the room served by such source does not exceed the distances specified under Regulation 44 from the outer face of the balcony, verandah or porch; and
  - (c) The front of the balcony, verandah or porch has an opening to external air, of not less than  $\frac{2}{3}$  the height between the floor level and ceiling level of such balcony, verandah or porch.
- 46.** (i) Every room in any building where the aggregate area of openings is short of the specification contain in Form "D" of Schedule (VI) shall be provided with natural light and ventilation by means of one or more sources.
- (ii) Corridors and passages may be lighted and ventilated by providing opening in the interior walls of the rooms abutting the corridor or passage provided that the area of the openings conform to the specification set out in the Form "D" of Schedule (VI).
- (iii) Any room used as a parking garage for more than five motor vehicles shall have at least 50 percent of the area of two or more sides of the room as opening to allow for cross ventilation.
- 47.** For the purpose of determining light and ventilation requirements, any room may be considered as a portion of an adjoining room when one half of the area of the common wall is open and unobstructed.
- 48.** There shall also be provided in the case of building without opening on the sides of a depth greater than 12 metres, permanent ventilation from front to rear by suitable vents in all front, that and cross wall at each floor. (The maximum length should be 24 m)
- 49.** (i) Every window or other opening except for toilets and bathrooms must open to a standard light plane and the whole space above such plane must be open to the sky and free from any obstruction other than eaves or sun shade projecting to and extend not more than 1.0 metre.

For the purpose of this Regulation "standard light plane" means a plane drawn up wards and outwards from the exterior face of the building at the lowest floor level of the room and not being a basement floor car parking or for a air conditioning plant or other service machinery only at an angle of  $63 \frac{1}{2}$  degrees to the horizontal and not impinging on any building wall or other obstruction.

In any case in which there is any obstruction other than an authorized obstruction over any plane so drawn, the plane may be drawn from the line of intersection of the plane of the floor level of the room and the perpendicular plane of the extreme edge of the obstruction.

- (ii) Where a window or other opening is situated on the side or interior face of a building, the external open space, shall:-
    - (a) Be of such width that no portion of such face shall intersect any of a series of imaginary lines drawn across the open space from the limit opposite to such face at the level of its lowest floor level not being a basement floor for car parking or for air conditioning plant or other service machinery only at an angle of  $63\frac{1}{2}$  degrees to the horizontal;
    - (b) Not be less than 2.25 metres; and
    - (c) Be exclusively attached to the building or be dedicated to public use.
  - (iii) In case of toilets and bath rooms the standard light plane may be relaxed by the Authority provided a minimum unobstructed width of open space of one metre is available within the premises abutting the opening.
- 50.** When any room is located in a basement and is to be naturally lighted and ventilated such room shall have at least one third of the height of its external wall above the outside ground level and shall have all its required sources of natural light and ventilation above the outside ground level.
- 51.** The provisions of Regulation 43 in (i) sub paragraph shall not apply to a room as a photographic dark room or cold storage room where by the nature of the use of the room it cannot have direct openings to external light and air, so long as it shall be artificially lighted and mechanically ventilated to the satisfaction of the Authority.
- 52. Mechanical Ventilation and Air Conditioning**
- (i) Where the Authority, taking into account the type and size of the building, is of the view that a central air conditioning plant is necessary for the building, the provisions of these Regulations relating to natural light and ventilation and the height of rooms may be so modified in accordance with the prevailing circumstances so that the ventilation and lighting system will be designed and maintained according to the conditions laid down by it while granting the

development permit, under section 8J of the Law and a stand-by generator of such capacity as specified by the Authority will be installed and operated at times of interruption of the public electric supply; and

- (ii) Where windows or other openings or water closets and bathrooms cannot open out on to an exterior or interior open space of the required width they may open out on to a ventilation shaft the size of which shall in the case of buildings upto a height of 15 metres be not less than 1 square metre with the minimum dimension of any side being 1 metre and in the case of buildings exceeding 15 metres in height not less than 3 square metres with the minimum dimensions of any side being not less than 1.5 metres.

Provided that, in the case of buildings of more than two storeys the water closets and baths shall be mechanically ventilated with exhaust fans of appropriate capacities places both in the window openings as well as on the top of the shaft.

- (iii) The owner of the building which is subject to mechanical ventilation and air conditioning shall give an undertaking affirming that he will comply fully with the relevant provisions or, mechanical ventilation system or artificial lighting is no longer in use, and such building shall be deemed to be unfit for occupation and shall not continue to be occupied until the owner complies with the relevant Regulations.

### **53. Foundations**

- (i) Every building shall be supported by foundations in order to safely sustain and transmit to the ground the combined dead load and imposed load of the building in such a manner so as not to cause any settlement or other movement which may impair the stability of, or cause damage to the whole or any part of the building or to any adjoining building or works.
- (ii) No part of the ground which supports or helps to support a building shall be subjected to any pressure (whether exerted by any part of the building itself or otherwise) other than such pressure as may be acceptable to the Authority, with a view to ensuring safety of the inhabitants of such buildings.
- (iii) If the ground adjacent to any proposed building exerts pressure upon or causes the application of an undue load to any part of the building, that building or part thereof shall be so constructed as to be capable of safely sustaining and

transmitting the pressure or load without exceeding the appropriate limitations of permissible stresses.

- (iv) Advices should be obtain from the Authority before the preparation of land for development the range of 5<sup>0</sup> - 30<sup>0</sup> slope.

**54.** The foundations of any building shall not extend beyond the boundary lines of the building site except in the case of the foundation of a party wall which is being built with the mutual consent of the owners of the sites on which such party wall stands.

**55.** (i) Whenever any foundations or related earthworks such as the driving of piles, compaction of soil and excavations, which may impose loads on adjoining property or cause movements in the grounds or in any way adversely affect the structural stability of any part of the adjoining effects of such works on the adjoining property shall be carefully considered by the qualified person at the time of preparation of the plans and designs as required under these Regulations before any such works are commenced on the site.

(ii) The qualified person and the owner shall at all times and at their own expense be responsible for preventing any damage to any adjoining building or property.

(iii) The entire construction site including foundation excavation, and temporary retaining works shall be separated from any adjoining road or property by a suitable fence or enclosure as may be required by the Authority.

**56. Lifts**

The number of passengers and goods lifts to be provided in any building and their design, construction, installation, testing, inspection and operation shall comply with the requirements specified in from “E” of Schedule (VI) to these Regulations.

**57. Water Supply**

(i) Every building shall be provided with a protected water supply system connected to an existing public system.

(ii) Where it is not possible to provide connection to the public water supply system, a system connected to private service shall be provided.

- (iii) Every building shall be provided with water storage tanks and pumps of such capacity as may be specified in each case, where the Authority has reason to believe that the supply of water shall not be continuous taking into consideration the situation of the building and other land marks of the area.
- (iv) No well used for the supply of drinking water shall be closer than 15.0 metres of a cesspit or a soakage pit of a septic tank.

## **58. Sewerage System and Sanitation**

- (i) Every dwelling unit shall have at least one water closet. Every other type of building shall be provided with water closets, urinals wash basins and other sanitary convenience as specified in Schedule VII.
- (ii) All sewerage and waste water outlets shall be connected to an existing public sewerage system and the Authority may in, any particular case require the sewerage and waste water to be pre-treated to bring them to acceptable standards before being connected on to a public sewerage system.
- (iii)
  - a. Where a public sewerage system does not exist, or in other cases where the Authority is of the opinion, that the outlets cannot be connected to the public system, sewerage shall be disposed through a septic tank; and
  - b. Waste water shall be suitably disposed through a soakage pit.

## **59. Rain Water Harvesting and Drainage**

- (1) Every owner or developer shall at the time of submission of the building plans for approval of the development activity in terms of these regulations, submit along with such plan, a plan containing such sketches as may be necessary, prepared taking into consideration the specifications and other requirements set out in Schedule VII (Part I, Part II and Part III) to these regulations, of the respective drainage facilities intended to be put in place to drain off and convey rain water from the roof of the proposed building to a drain in the street or other appropriate outlet approved by the respective Authority;

Provided that, in the case of existing buildings, the authority shall give adequate notice to the owners thereof, informing them that they will be required to comply with the provisions of this regulation, within such period as may be determined

by the Authority, but such date shall not be later than three (03) years from the date of enforcement of those regulations.

- (2) Every Plan prepared under these regulations shall be prepared by a qualified person as determined by the Authority.
- (3) The provisions of these regulations shall be applicable in respect of such areas as have been declared as Urban Development Areas by Order published in the Gazette in terms of Section 3 of the Law.
- (4) In applying these provisions to open space reservations stipulated in relation to the sub division of land, a minimum of ninety (90%) percent of such reservation shall have ground cover vegetation.

- 59. A.** The provisions of this regulation shall apply in respect of premises falling within any Local Authority area, declared as Balangoda Urban Development Area under the law.

Provided that the above provisions shall not apply in respect of premises falling within this local authority area, where the size of the premises is less than 6 perches (150 m<sup>2</sup>).

- 59. B.**
- (1) Every plan submitted for the purpose of obtaining a development permit shall consist, -
    - (a) Where no building work is involved in the development activity or the development activity is restricted to land development –
      - (i) Of details of the location and the dimension of the existing drainage system;
      - (ii) Of the proposed rainwater harvesting system inclusive of all dimensions and flow directions;
    - (b) Where building work is involved in the development activity.
      - (i) Of a sketch of the plan of the surrounding area including positioning of existing water drains.

- (ii) Of the floor plan of each story (where the building consists of more than one floor) and of any areas which will consist of a flat roof (all pipe lines of the drainage, sizes and location of storage and infiltration and outlet drains along which the rain water will be discharged, with arrows indicating the direction of the flow of the water should be shown);
  - (iii) Of the cross and longitudinal sections of the building, including storage tanks, down pipes and other related appurtenance.
- (2) The guidelines set out in sub-paragraphs (a) and (b) of paragraph (1) of this regulation shall be applicable to the Uses of Buildings specified in Schedule VII (Part I) to these regulations and the Minimum Equivalent Rainwater Holding provisions Requirement for each of such categories shall be as specified in the said Schedule (Part II);

Provided that where any applicable building uses or relevant rainfall band is not clearly identifiable, Authority / the Local Authority shall on a consideration of all conditions, make the required identification;

Provided further that the Proposed Distribution of Rain Water Harvesting Holding Provision shall be calculated in accordance with the Storage and Groundwater Infiltration of the premises as specified in Part III of Schedule VII.

- 59. C.**
- (1) Where common rainwater holding facilities are proposed by one or more owners of adjacent properties, such joint facility shall be located at such place as may be determined by the Authority / respective local authority; provided that the Authority shall satisfy itself that all owners concerned have consented to the joint facility and have given their written consent thereto.
  - (2) In assessing the Equivalent Rainwater Holding Provision of any premises:-
    - (a) The following matters shall be considered -



- (i) Available storage space for fire requirements, provided measure are adopted to meet fire requirements at all times;
  - (ii) 100 m<sup>2</sup> of unpaved ground sufficient for 0.5 m<sup>3</sup>;
  - (iii) Location of infiltration trenches specially for rainwater; and
  - (iv) Any facilities available on adjacent premises where, the written consent of the owner thereof has been obtained for the use of such facilities.
- (b) The following matters shall not be considered -
- (i) Storage spaces for public water supply;
  - (ii) Availability of septic tank effluent soakage pit or trench.

**59. D.** The following design and construction consideration shall be applicable in relation to ground water harvesting in terms of these regulations:-

- (a) The rainwater system shall be designed by persons possessing the qualifications as specified from time to time, by the Authority and shall -
  - (i) Be constructed in competent matter;
  - (ii) Be capable of discharging the first flush of rain;
  - (iii) Be stored on appropriate structures and sized and be infiltrated into the ground, by means of either a waste water soakage pit, a dug or bore well, pond or other similar measure, ensuring that optimal use of the water is made for home garden and landscaping purposes;
- (b) The storage structure shall be covered and protected against accidents and shall -
  - (i) Be built in a structurally sound manner;
  - (ii) Contain provision for the elimination of dust, vermin and other contaminants;

- (iii) Be of such design which shall not conflict with any other building regulations or aesthetic considerations imposed by the local authority;
- (iv) Be located at appropriate locations either above, below or on, ground level, so as to facilitate the potential for the maximum use of the water storage therein;
- (c) In case the water is not used for home gardening and other purposes, the infiltration structure shall be of such specified dimensions in order to be able to contain the quantity of water directed to it ensuring proper infiltration.
- (d) In the case of common storage structures, be built with suitable backflow prevention devices, so as to prevent rainwater from entering the public mains systems;
- (e) Shall not contain direct cross flow connections between the rainwater and the public mains systems;
- (f) Shall contain such filtration devices as are specified by the local authority; and
- (g) All pipes and appurtenances used for the provision of harvesting of rainwater shall be clearly differentiated by color and makings;

#### **60. Waste Disposal**

Waste generated within any premises shall be collected and disposed in a manner which the Authority considers essential, so as to safeguard the health of the inhabitants therein.

- (a) Disposal of polyethylene waste within the environmentally sensitive area is prohibited.
- (b) Violation of the above regulation is a punishable offence under UDA planning and building Regulation.

#### **61. Electrical and Plumbing Work**

All electrical and plumbing work in any building or premises shall be carried out by a Registered Electrician and a Licensed Plumber as the case may be and these works shall

conform to such standards and specifications as the Authority may require with a view to ensuring maximum safety and sanitary conditions within any building or premises.

**62. Fire Safety**

Every building shall conform to fire safety requirements applicable to the area or type of building or as may be specified by the Authority with a view to providing a greater measure of safety to the inhabitants of such buildings.

**63.** All high-rise buildings, public assembly buildings, factories and warehouses of more than 400 square metres in extent the installations therein shall conform to any additional fire safety requirements as may be recommended by the Chief Officer of the Fire Brigade.

**64.** All buildings which have two or more floors and 300 sq. metres in extent and which are located in areas where pipe-borne water supply is available, should provide for a sump, to store water to be used in an event of a fire. The dimensions of the sump will be determined by the Planning Authority in relation to the size and use of the buildings.

**65. Certificate of Conformity**

Every application for a Certificate of Conformity under Section 8K of the Law No. 4 of 1982 shall be substantially in the Form “D” set out in Schedule (I) and shall be accompanied by the following;

- (a) In the case of land development or sub-division of land;
  - (i) A certificate from a Town Planner and or a Licensed Surveyor that the sub-division has been carried out as per the approved plans and permit;
  - (ii) A certificate from a Chartered or Registered Civil Engineer or a person whose qualification have been recognized for employment as an Engineer under the Government, where Engineering Works are involved in the development such as construction of roads and culverts, that the development works have been carried out under his supervision in accordance with the approved Plan and Permit;
- (b) In the case of construction of buildings falling within Category “A” of Regulation 6 -

- (i) A certificate from a Registered or Chartered Architect or a person whose qualifications have been recognized for employment as an Architect under the Government to the effect that the development has been carried out under his supervision in accordance with the approved Plan and Permit;
  - (ii) A certificate from a Chartered or Registered Civil Engineer or a person whose qualifications have been recognized for employment as an Engineer under the Government to the effect that the foundation and super structure and other works have been carried out according to the approved plans, permit and according to designs submitted under Regulation 7, under this supervision and the buildings are structurally safe and
  - (iii) A certificate from a qualified Electrical Engineer, qualified Sanitary or a Chartered, Civil Engineer, qualified Refrigeration Engineer or a person whose qualifications have been recognized for employment as an Electrical, Sanitary, Civil or Refrigeration Engineer that the Electrical, Sanitary and air conditioning systems have been installed under their supervision in accordance with the approved plans and specifications and satisfy all safety requirements.
- (c) In the case of construction of buildings falling within Category B of Regulation 6 a certificate from a Registered or Chartered Architect or Civil Engineer or a person whose qualifications have been recognized by Government for employment as an Architect or Engineer under Government to the effect that the works have been carried out in accordance with the approved plan and permit under his supervision and that the building is structurally safe.
- (d) In the case of construction of buildings falling within Category C I and C II of Regulation 6, a certificate from the builder or the owner where the owner is also the builder to the effect that the works have been carried out in accordance with the approved plans and permit under his supervision and that all reasonable precautions have been taken to ensure the structural safety of the building.
- (e) In the case of the construction of buildings within sub categories C III of Category C of Regulation 6, a certificate from the builder, or the owner where the owner is also the building by such owner to the effect that the works have been carried out in accordance with the approved plans and permit under his supervision, and that all reasonable precautions have been taken to ensure the structural safety of the building.

**66.** The Authority or its authorized representative or representatives shall enter upon and inspect at all reasonable times any building, before a certificate of conformity for the occupation thereof is issued or at any stage of development for the purpose of determining whether all the provisions of the Regulations have been complied with.

**67. Unsafe Buildings**

The Authority may direct the owner of any building that may constitute a danger to its occupants or to public safety to repair or demolish or deal with otherwise to remove the danger, if the building is certified as unsafe by the Director, Buildings Department.

**68. A Mining Industry**

According to Balangoda Development Plan special attention should be paid in relation to the construction and land due to the impact on Mining and Washing of Gem pits.

1. Impacts not to caused by the mining for existing properties, buildings, roads, physical and other environmental developments.
2. Special attention to be paid on the under mentioned activities :-
  - i. Places of historical importance.
  - ii. Reservation zone.
  - iii. Zones affected by flood.
  - iv. Places of Social Importance.
  - v. Mining industries liable to earth slip.
3. In order to mitigate environmental constraints in relation to mining industry, guide lines need to be follow which stipulated by Jem and Jeweler Authority.
  - i. Tunneling for gems (Dona in Sinhala)
  - ii. Occasions leading to erosion of banks of rivers, canal and stream by mining industry.
  - iii. Removal of gem pits/ gem mixed clay from rivers, canal and stream.
  - iv. Pollution of water sources due to washing of gem pits (clay)
  - v. Measures taken to fill the pits and closing down the mines.
  - vi. Erosion of soil due to mining industry, and consequent deposit of soil in natural water ways.
  - vii. Damage to local road system as well as to the main roads.

Accordingly written permission should be obtained from authority prior to mining and washing gem clays to be carried out within Balangoda Urban Council. The Annexure II submitted of Form “C” with this.

The written permission obtained from Mining, Gem and Jewellery Authority need to be submit along with the above-mentioned application form.

#### **69. Facilities for Disable Persons**

The application for the approval to construct a public building, such as a Hospital, Theatre, Grand Stand, Assembly hall, Department Stores or any other building that will be utilized by disabled persons, shall endeavour to take measures so that the entrance/exits; corridors, stairs, elevatory equipment, lavatories and other facilities can be used easily by the above category of persons and shall adhere to give effect to section 23 (ii) of the Protection of the Rights of Persons with Disabilities Act, No. 28 of 1996. (Schedule IX).

## PART IV DEFINITIONS

70. In these Regulations :-

**"apartment"** means a unit as defined in the Apartment Ownership Law No. 11 of 1973.

**"access"** includes any street used as means of access to buildings or other premises whether the public have a right of way there over or not ;

**"authority"** means the Urban Development Authority constituted under the Urban Development Authority Law, No. 41 of 1978.

**"basement"** means that part of the floor below the ground floor which is wholly below ground level or to an extent of 2/3 of its height below the adjoining ground level;

**"building-high-rise"** means any building with more than four floors including the ground floor or whose height at any part of it above the ground level exceeds 15.0 metres excluding a lift or motor room not exceeding 56 sq.m. in extent or motor room not exceeding 3.0 meters in height or a staircase room not exceeding a height of 3.0 m and not exceeding 25 sq.m. in extent or a water tank not exceeding a height of 1.5 m.

**"building residential"** means a building exclusively consisting of one or more dwelling units;

**"building line"** means the line upto which a building will be permitted to extent;

**"building works"** includes erection or re-erection of a building or making additions or alterations to an existing building.

**"chairman"** means the Chairman of the Authority;

**"dwelling house"** or **"dwelling unit"** means a building or part of a building consisting of a room or group of rooms forming a self contained living unit with independent sleeping, cooking and sanitary facilities.

**"development activity"** has the same meaning as in the Law;

**"existing lot"** means a lot which is in existence before the coming into operation of the law.

**"factory"** includes a building or part of a building used for the manufacture or production of any article;

**"flat"** means a unit as defined in the Apartment Ownership Law, No. 11 of 1973;

**"floor area"** means the horizontal area of a floor of a building measured from the exterior face of exterior walls or in the case of a common wall separating two buildings from the enter line of such common wall and shall include all roof projections and balconies exceeding 1.0m in width and all areas having a roof and capable of being enclosed.

**"floor area gross"** means the total of the floor area of every floor in a building;

**"floor area ratio"** means the gross floor area of all buildings on a lot divided by the area of such lot;

**"floor space"** means the horizontal area of a room of space in a building measured from the interior face of the enclosing walls;

**"housing complex"** means a group of dwelling units on a site which is permanently in "common enjoyment" and may include a block of flats;

**"industrial building"** includes factories, workshops and warehouses;

**"law"** means the Urban Development Authority Law No. 41 of 1978.

**"local authority"** has the same meaning as in Law;

**"lot"** in relation to land means the entirety of any land which has been demarcated by boundary marks or enclosed within boundary walls or fences where such land belongs to one single person or to a set of co-owners whether approved or not as a lot by the Local Authority or the Authority.

**"Owner"** includes a person for the time being receiving the rent of the premises in connection with which the work is used whether in his own account or as an agent or trustee for any other person or who would receive the same if such premises were let to a tenant;

**"place of public assembly"** means a place or building used whether regularly or occasionally for public congregation such as a theater, cinema hall, public hall, concert



room, lecture room or exhibition room or for similar purpose and includes a public building;

**"planning committee"** means the Committee appointed under Section 8B of the Law;

**"public building"** includes any building used for the purpose of public worship, instruction, recreation or meeting and a medical institution or a nursing home or government office;

**"public street"** means any street cover which the public have a right of way and has become vested in any Authority under any law or by operation of any law and includes the drain or footway attached thereto;

**"street"** includes any road, footway or passage used or intended to be used as a means of access to any dwelling unit or site whether or not the public has a right of way over such street and includes all channels, drains, ditches, side walks and reservations at the side thereof;

**"street line"** means a line or lines defined on one or both sides of an existing street to show its future width or to show the width of future street, as defined by the Authority;

**"warehouse"** includes a building or a part of building mainly used for storing merchandise or articles for trade.

**"qualified person"** the Qualified Persons who certify the Plan should be responsible to the accuracy of the Plan, ensuring its conformity with the UDA Planning and Building Regulations. Further, the Organization which register the Qualified Persons shall submit the annual members registries to the Authority and the Draught-Persons (Building) at NVQ, Level V shall register their names with the Authority annually. (See Schedule III)

**PART V - SCHEDULE**

**SCHEDULE I**

**Form "A" - Regulation 2**

**APPLICATION FOR OBTAINING A DEVELOPMENT PERMIT FOR SUB-DIVISION  
OF LAND**

For Office Use Only

No.:

.....

Processing fees paid: .....

Receipt No.: .....

Date:

.....

To:  
Chairman,  
Urban Development Authority.  
Thro'  
Chairman/Authorized Person,  
..... Urban Council.

Dear Sir,

I/We hereby apply for a Permit for Sub-division of my/our land bearing Assessment  
No. .... Street ..... Ward ..... Town .....

I/We forward herewith the following particulars in triplicate duly signed by me/us and the  
Qualified Person.

1. A map of the area showing the site/land in relation to the adjoining properties and streets  
to a scale of not less than 1: 4000 (The site in question along with any other adjoining  
site owned by the applicant should also be clearly shown).
2. A survey plan of the site/land to a scale of not less than 1:1000.

- (i) The location of the site including figured dimensions of buildings, if any;
  - (ii) The scale of the plan, the north point and assessment numbers of adjoining lots or buildings;
  - (iii) The means of access to the site;
  - (iv) All existing drains and water courses;
  - (v) Contours or spot levels of the site and levels on the street in front;
  - (vi) Service lines including electric power lines;
  - (vii) Trees and vegetation;
3. A detailed blocking out plan to a scale of not less than 1:1000 showing the proposed subdivision of lots together with their dimensions and extent, direction and width of all proposed streets, open spaces and space for other amenities to be reserved and the use to which every site will be put to.
  4. The proposed formation levels of street in relation to existing levels with cross-sections and longitudinal sections to scale.
  5. The particulars detailed in the Annexure.

I/We certify that the information given above are true and correct.

I/We undertake not to commence any development activity till the permit is granted.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

**Annexure - Form "A"**  
**(Please type or write in block capitals)**

1. Particulars of Owner:  
Name:.....  
Address:.....  
Telephone No.:.....  
E-mail:.....  
Fax:.....
  
2. (a) Particulars of Existing Development:  
Location of site:.....  
Assessment No:.....  
Local Authority:.....  
Ward:.....  
Street:.....  
Lot No./Survey Plan No.:.....  
  
(b) Present use  
Land  
Extent (Square Metres)  
  
Use  
Buildings (if any)
  
3. (a) Site Development state; whether the site is proposed to be filled up and raised and if so give details of levels in relation to roads and drainage proposals. Please also indicate (where applicable) whether consent of Sri Lanka Land Reclamation and Development Corporation has been obtained.  
  
(b) Details of amenities and facilities  
  
(c) Proposed Land Use  
Residential: .....  
Commercial: .....  
Industrial: .....  
Institutional: .....  
Open Spaces, Parks and Play Fields: .....  
Streets and Access ways: .....  
Any other Use: .....

- (d) Infrastructure  
 (i) Availability

Subject	Source
Water:.....	.....
Sewerage:.....	.....
Drainage:.....	.....
Electricity:.....	.....
Telephone:.....	.....
Solid Waste Disposal:.....	.....
Waste Water Disposal:.....	.....

- (ii) Arrangements proposed where the above facilities are not available or adequate.

Subject	Source
Water:.....	.....
Sewerage:.....	.....
Drainage:.....	.....
Electricity:.....	.....
Telephone:.....	.....
Solid Waste Disposal:.....	.....
Waste Water Disposal:.....	.....

4. Landscape Location of trees to be indicated on the site plan.
5. If the sub-division involves the division of a building, state, how each part of the building will be brought into conformity with the planning and building Regulations.
6. Approximate date of commencement and phasing.

I/We hereby certify that the above particulars are true and correct.

.....  
 Signature of Qualified Person

.....  
 Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

**Schedule – I**  
**Form "B" - Regulation 2**

**Application for obtaining a Development Permit for Building, Change of use of land and building and any other development (except sub-division of land)**

For Office Use Only

No.:

.....

Processing fees paid: .....

Receipt No.: .....

Date:

.....

To:

Chairman,

Urban Development Authority.

Thro'

Chairman/Authorized Person,

..... Urban Council.

Dear Sir,

I/We hereby apply for a permit to carry out the following development. I/We intend to use the land or building in ..... for ..... The site sub-division has been approved by ..... in .....

I/We forward herewith the following particulars in triplicate.

1. A map of the area showing the site in relation to the adjoining properties and streets. (The site in question along with any other adjoining site owned by the applicant should also be clearly shown).
2. The approved blocking out plan to a scale of not less than 1:4000 showing the dimensions of the site and all existing topographical features, buildings, structure and street width of abutting streets.
3. A detailed plan of the site to a scale of not less than 1:1000 indicating the position of the proposed buildings in relation to the site. (existing buildings to be retained) street lines,

the set backs from the streets and the boundaries of the site, access ways and location of parking areas.

4. In case where only building work is involved:

- (a) A sketch plan of the surrounding area sufficient to locate the building site.
- (b) The approved blocking out plan to a scale of not less than 1:4000.
- (c) A floor plan of each storey drawn to a scale of 1:100 except where the building is so extensive as to render a smaller scale necessary when the scale of 1:200 may be used showing:
  - (i) Different parts of the building and the use for which every room and part of the building is intended to be put to.
  - (ii) The position and dimensions of all doors, windows and other openings.
  - (iii) The position of all sanitary appliances and their connection to drains.
  - (iv) Fire escape.
  - (v) Clearance from aerial electricity supply lines.
  - (vi) The type of materials and specifications to be used for the walls, super structure and floor slabs and roof structure of the buildings.
- (d) Cross and longitudinal sectional drawings of the building along appropriate lines, showing :-
  - (i) The thickness of all walls, floors, roofs foundations, beams and other related parts of the buildings.
  - (ii) Position and dimensions of doors, windows or other openings, the height of every storey, the ceiling height and levels of the buildings in relation to existing ground or street level and the clear distance between the site boundaries and the external walls of the buildings.
- (e) Front and side elevations of the building showing elevations of every existing building with the site showing its height, floor level and other external visible features.

5. The particulars given in Annexure B – 1.

6. The particulars given in Annexure B – 2 (in case the development relates to industrial usage of site and buildings).

7. The particulars given in Annexure B-3 (in case the development relates to a Hotel).

I/We certify that the information given above is true and correct.

I/We undertake not to commence any Development Activity till the permit is granted.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....



**Form “B” – Annexure 1**  
**(Please type or write in block capitals)**

1. Particulars of Owner:

Name:.....  
Address:.....  
Telephone No.:.....  
E-mail:.....  
Fax:.....

2. (a) Particulars of Existing Development:

Location of site:.....  
Local Authority:.....  
Ward:.....  
Street:.....  
Assessment No.:.....  
Lot No./Survey Plan No.:.....

(b) Present use of the land and building:

- (i) Land  
Extent (In Square Metres):.....  
Use (Give in detail the present use):.....
- (ii) Building (Give details of every building on the site)  
No. of floors:.....  
Height (Metres):.....  
Gross Floor Area (Square Metres):.....

3. Particulars of Proposed Development:

(a) Nature of Proposals

- (b) Site Development :- State whether the site is proposed to be filled up and raised and if so, give details of levels in relation to roads and the drainage proposals. Please also indicate (where applicable) whether consent of the Sri Lanka Land Reclamation and Development corporation has been obtained.

(c) Details of Development

Maximum Height (Metres)  
Gross floor area of all building (Square Metres)

Floor Area Ratio (F.A.R.) =  $\frac{\text{Gross Floor Area of All Building}}{\text{Site Area}}$

Lot Coverage =  $\frac{\text{Floor Area at ground level}}{\text{Site Area}} \times 100$

(d) No. of Floors (including Basement and use of each Floor):  
Floor Use Extent (Square Metres)

(e) Details of Floor Area (Square Metres):

Residential:.....  
Retail Commerce:.....  
Wholesale Commerce:.....  
Office:.....  
Restaurant:.....  
Factory or Workshop:.....  
Warehouse:.....  
Others (specify):.....  
Total:.....

(f) Floor area of each Dwelling Unit:

(g) Parking of Vehicles (sq.m.):

Cars:.....  
Other (Specify):.....

(h) Infrastructure Requirements

Water (Liters):.....  
Electricity (Kilo Watts):.....  
Telephone No.:.....

4. Estimated No. of Employees in the Building:

5. Landscaping:

Trees and vegetation to be retained  
Need to be submit Landscape Proposal Plan

6. Approximate date of commencement and completion and phasing.

I/We hereby certify that the above particulars are true and correct

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

**Form B – Annexure 2**  
**(Please type or write in Block Capitals)**

**To be completed and furnished where the site and building are to be used for Factory,  
Workshop or Warehouse**

1. Nature of Factory, Workshop or Warehouse (Give details of goods to be manufactured, repaired or stored and in the case of manufacture indicate raw materials used and a brief description of the Manufacturing process)
2. Details of permission of concerned Ministry or Department for setting up the factory or workshop or warehouse.
3. Details of machinery employed and motive power.

No.	Horse Power	Motive Power
-----	-------------	--------------

4. Provision made for infrastructure facilities.

Water:

Liters:.....

Source:.....

Sewage:

Disposal:.....

Liters:.....

Electricity:

Kilo Watt:.....

Source:.....

Storm Water Drainage:.....

Fire Protection:.....

5. Quality and Quantity of solid, liquid or gas effluents, there mode of treatment and disposal.
6. Noise, dust and pollution characteristics and measures proposed for their control.
7. Employment  
Proposed  
Future expansion, if any.....

I/We certify that the information given above are true and correct.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

**SCHEDULE – I**  
**Form "C" - Regulation 9**

**Application for obtaining Preliminary Planning Clearance for Proposed Development**

For Office Use Only

No.: .....

Processing fees paid: .....

Receipt No.: .....

Date:

.....

To:  
Chairman,  
Urban Development Authority.  
Thro'  
Chairman/Authorized Person,  
..... Urban Council.

Dear Sir,

I/We hereby apply for the Preliminary Planning Clearance for building/sub-division of land bearing assessment No. .... Street ..... Ward .....  
Town .....

I /We forward herewith the following particulars in triplicate duly signed by me/us.

1. A map of the site showing the site/land in relation to the adjoining properties and streets to a scale of not less than 1:6000. (The site in question along with any other adjoining site in the area owned, by the applicant should also be clearly shown).
2. The particulars detailed in the Annexure.

I/We fully understand that the Preliminary Planning Clearance does not entitle me/us to carryout any Development Activity whatsoever.

I /We forward herewith the following particulars in quadruplicate duly signed by me/us.

I/We certify that the information given above are true and correct.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

**Form “C” - Annexure “A”**  
**(Please type or write in block capitals)**

1. Particulars of Applicant:

Name:.....  
Address:.....  
Telephone No.:.....  
E-mail:.....  
Fax:.....

2. (a) Particulars of Existing Development:

Location:.....  
Local Authority:.....  
Ward:.....  
Street:.....  
Assessment No.:.....  
Lot No./Survey Plan No.:.....

(b) Present use:

- (i) Land  
Extent (In Square Metres):.....  
Use (Give in detail the present use):.....
- (ii) Building (Give details for every building on the site)  
No. of floors:.....  
Maximum Height (Metres):.....  
Gross Floor Area (Square Metres):.....  
Floor Area of each use (Square Metres):.....

3. Particulars of proposed development:

- (a) Site development – (State whether the site is proposed to be filled up and raised and if so give details of levels in relation to roads and drainage proposals. Please also indicate (where applicable) whether consent of Sri Lanka Land Reclamation and Development Corporation has been obtained).
- (b) Nature of proposals (Give a brief description with line plans and elevations).

4. Site Particulars  
Extent of site (Square Metres)

5. Availability of Infrastructure:

Streets and Access ways:.....  
Water Supply:.....  
Sewage:.....  
Electricity:.....  
Solid Waste Disposal:.....  
Waste Water Disposal:.....

6. (a) Gross Floor Area of Proposed Development (Square Metres):.....

(b) No. of Floors and Maximum height of building:.....

(c) Floor Area Ratio =  $\frac{\text{Gross Floor Area of All Buildings}}{\text{Site Area}}$   
(F.A.R.)

Plot Coverage =  $\frac{\text{Floor Area at ground level} \times 100}{\text{Site area}}$

(d) Basement

(i) Extent:.....

(ii) Ground Coverage:.....

(e) Details of Floor Space (Square Metres):

Residential:.....

Retail Commerce:.....

Wholesale Commerce:.....

Office:.....

Restaurant:.....

Factory or Workshop:.....

Warehouse:.....

Others (specify):.....

Total:.....

(f) Parking spaces provided:

Cars:.....

Others (Specify):.....

7. Details of site sub-division

	Square Metres	% of Total Area
(a) Land Use:	.....	.....
Residential:	.....	.....



Commercial:	.....	.....
Industrial:	.....	.....
Institutional:	.....	.....
Open Spaces, Parks and Play Fields:	.....	.....
Roads:	.....	.....
Others:	.....	.....

- (b) No. type and size of plots:.....
- (c) No. type of buildings, if any proposed:.....
- (d) Amenities if any, to be provided:.....

I/We certify that the above particulars are true and correct.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....  
 Telephone No.:.....  
 E-mail:.....  
 Fax:.....  
 Date:.....

**Form 'C'**  
**Annexure II**  
**(Please type/write clearly)**

**Application Form for Mining Activities**

1. Particulars of Applicant:

Name:.....  
Address:.....  
Telephone No.:.....  
E-mail:.....  
Fax:.....

2. (a) Nature of Present Development:

Location of Development:.....  
Local Authority:.....  
Street:.....  
Assessment No.:.....  
No. of Survey Plan No.:.....

(b) Present use:

- Land:
1. Extent (sq.m.)
  2. Usage (Describe present use in detail)
  3. The distance from the road and all construction to the lot (A .  
survey plan drawn to the scale not less than 1:1000 including any  
construction in and abutting lots)
  4. Mentioned river, reel, mountain at applicable places

3. Is mining development locate within permitted zone.

4. Particulars of location of land

- i. Is area subject to flooding
- ii. If subject to flooding height from the annual flood level
- iii. Is subject to landslide (Submit plan of spot height is available)
- iv. The paddy land expected to be mining activity

- v. Anticipated length and breadth for the surface of the mines and distance from the bed if cutting tunnels (Dona)
- 5. Mentioned machineries if use for mining.
- 6.
  - i. Is space available for deposit soils removed from the mine within proposed land  
Itself.....
  - ii. If not available manner of deposit.....
  - iii. Manner of cleaning gem pits (Illama).....
  - iv. Water source to be used for washing gem pits.....
  - v. Whether washing water get collected to natural water way.....
- 7.
  - i. How to recover existing situation after cutting of gem pits.....
  - ii. If use soil from out side.....
  - iii. Other (Specify).....

**SCHEDULE I**  
**Form 'D' (Regulation 66)**

**Application for obtaining Certificate of Conformity**

For Office Use Only

No.:

Processing fees paid: .....

Receipt No.: .....

Date:

.....

To:

Chairman,

Urban Development Authority.

Thro'

Chairman/Authorized Person,

..... Urban Council.

Dear Sir,

I/We hereby apply for a Certificate of Conformity in respect of development carried out at  
..... (give location etc.) in terms of permit No. .... dated  
..... 20..... issued to me by .....

The work has been completed complying fully with the permit. The work has been completed  
with the following deviations (Strike out whichever is not applicable).

Details of Deviations

.....  
.....  
.....

I attach herewith the following certificates, as required under the Regulations.

I/We certify that the information given above are true and correct.

I/We undertaken not to engage in any development activity and not to occupy the land and  
building till the certificate of conformity is granted.

.....  
Signature of Qualified Person

.....  
Signature of Owner

Name and Address:.....

Telephone No.:.....

E-mail:.....

Fax:.....

Date:.....

## SCHEDULE II

### Regulation 2

### PROCESSING FEES, FEES FOR COVERING APPROVAL AND SERVICE CHARGES FOR OBTAINING DEVELOPMENT PERMITS

Nature of Development activity to be engaged in	Form to be used	Fees		
<b>1. Issue of Development Permits</b>		Processing fees		
		(i) Plot Size	Fees for each plot (Excluding road drains and common lots)	
(I) Land Subdivision Approval	A	❖ Between 150-300 sq.m.	Rs. 500.00	
		❖ Between 301-600 sq.m.	Rs. 400.00	
		❖ Between 601-900 sq.m.	Rs. 300.00	
		❖ Above 900 sq.m.	Rs. 200.00	
(II) Issuing of Development Permits for erection of Buildings/ addition to existing buildings/ re-erection	B	(ii) Floor area (sq.m.)	Residential Uses Rs. Cts.	Commercial Other Uses Rs. Cts.
		Less than 45	500.00	1,000.00
		45-90	1,500.00	2,000.00
		91-180	2,500.00	3,000.00
		181-270	3,500.00	4,000.00
		271-450	4,500.00	6,000.00
		451-675	5,500.00	8,000.00
		676-900	6,500.00	10,000.00
		901-1225	7,500.00	12,000.00
		Above 1225	7,500.00	12,000.00
			Rs. 1,000/- for every 90 sq.m.	Rs. 1,250/- for every
		90		
			in excess of 1226 sq.m.	sq.m. in excess of 1226 sq.m.
(III) Erection of Boundary Walls/ Retaining Walls		(iii) Residential (Per liner meter)	Commercial and Other (Per liner meter)	
• On the building line		Rs. 300.00	Rs. 400.00	
• Within building line		Rs. 500.00	Rs. 600.00	



(iv) Reclamation of Low Lying lands/Paddy Lands	C	* Land Area less than 150 sq.m. Rs. 2,500.00 * Between 151 and 300 sq.m. Rs. 5,000.00 * Rs. 3,000/- for each 150 sq.m. in excess of 301 sq.m.
(v) Erection of Telecommunication Antenna Towers	C	* Height between 5-20 m Rs. 2,000.00 * Rs. 100/- for each 01 meter in excess of 20 m
(vi) Special Development Projects	C	* Small Scale Projects Rs. 10,000.00 Less than 5 Million Rupees * Medium Scale Project Rs. 50,000.00 Between 5-50 Million Rupees * Large Scale Project Rs. 150,000.00 Above 50 Million Rupees
<b>4. Issues of Certificate of Conformity (Certificate of Conformity should be obtained for all development)</b>	D	<b>Fees for granting Certificate of Conformity</b>
(i) Land Sub Division		Rs. 1,000/- for first land lot and Rs. 500/- for each lot in excess
(ii) * Residential Construction		Rs. 3,000/- for below 300 sq.m. floor area and Rs. 10/- for each sq.m. in excess
* Commercial and other construction		Rs. 3,000/- for 100 sq.m. and Rs. 20/- for each sq.m. in excess
(iii) Erection of Boundary Walls/ Retaining		Rs. 1,000/- for 100/- per linear meter and Rs. 10/- for per linear meter each in excess
(iv) Reclamations of Low Lying lands / paddy lands		Rs. 3,000/- for land and below 150 sq.m. and Rs. 20/- for each sq.m. in excess
(v) Erection of Telecommunication antenna towers		Rs. 2,000/- for towers between 5 m to 20 m in height and Rs. 100/- for each meter in excess
(vi) Special Projects		Small Scale Rs. 5,000.00 Medium Scale Rs. 10,000.00 Large Scale Rs. 20,000.00

<p><b>5. Parking Bays</b></p> <p>(Service charges for parking spaces not providing within premises but required under the UDA regulations)</p> <p>(i) Urban Council and Pradeshiya Sabha</p> <p><b>6. Covering Approvals</b></p> <p>I Sub division of lands without obtaining necessary approval</p> <p>II Erection of buildings/ Additions/erections without obtaining Development Permits</p> <p>Stage of Construction</p> <p>(i) Only foundation work completed (up to plinth level)</p> <p>(ii) Construction up to roof level (excluding roof)</p> <p>(iii) Construction including roof</p> <p>(iv) Construction completed</p> <p>III Erection of Boundary walls/ Retain walls</p> <p>IV Reclamation of low lying paddy lands/</p> <p>V Erection of Telecommunication and Antenna Towers</p> <p>VI Special Development projects</p> <p>VII Occupation/usage without obtaining Certificate of Conformity</p>		<p><b>Service Chargers</b></p> <p>* Large vehicle including Containers Rs.250,000.00</p> <p><b>Fees for granting Covering approvals</b></p> <p>(i) Rs. 750/- for every Lot</p> <p>(ii) Residential per sq.m. Commercial and Others per sq.m.</p> <p>Rs. 200.00 Rs. 500.00</p> <p>Rs. 300.00 Rs. 1,000.00</p> <p>Rs. 400.00 Rs. 1,500.00</p> <p>Rs. 500.00 Rs. 2,000.00</p> <p>Rs. 400.00 Rs. 400.00</p> <p>Rs. 5,000/- for every 150 sq.m.</p> <p>Rs. 10,000/- for every 05 meter in height</p> <p>Rs. 10,000/- for every 05 million project cost</p> <p>Rs. 50/- per day</p>
---	--	---



7. Charge for Change of Use of residential unit
  - (i) Rs. 2,000 per sq.m. to convert a residential unit to any other permitted use, if the property is located in a Special Primary Residential Zone.
  - (ii) Rs. 800 per sq.m. to convert a residential unit to any other permitted uses, if the property is located in any other zone, other than Special Primary Residential Zone.

8. Additional floor area permitted in excess of prescribed Floor Area Ratio

The Service Charges to be calculated as a percentage of the cost of construction of the building which will vary from 30% to 7% based on the following factors.

- (i) Location of the building
- (ii) Infrastructural Status
- (iii) Type of development
- (iv) Environmental effects
- (v) Zoning as per the Development Plan, if any

The building costs that will be taken into consideration for this calculations should not be less than the following values.

- |       |  |  |
|-------|--|--|
| (i)   | Residential Houses                                 | Rs. 20,000.00 per sq.m.                  |
| (ii)  | Residential flats, commercial and office buildings | Rs. 30,000.00 per sq.m. up to 04 storeys |
| (iii) | Residential flats, commercial and office building  | Rs. 60,000.00 per sq.m. over 04 storeys  |
| (iv)  | Light industrial buildings                         | Rs. 45,000.00 per sq.m.                  |
| (v)   | Warehouses   | Rs. 30,000.00 per sq.m.                  |

9. For Provision of Services, reports or other Service activities.

- (i) Transport charges for issuing of Preliminary Planning Clearance, Development Permits, Certificates of Conformity shall be borne by the developer. These minimum charges should be calculated on the basis of Rs. 35/- per Kilo Meter from the relevant office up to the proposed site. This rate is subject to adjustments as per the prevailing fuel costs.
- (ii) A minimum service Charge of 10% of the estimated cost of the project for provision of Special Consultancy services, preparation of layout plans, preparation of estimates, project planning shall be levied.
- (iii) Service Charge levied for granting covering approvals, market value of the area of the land of the 10% open space requirement in land sub division and charges levied in lieu of parking space not provided as per the regulations, shall be deposited in a separate bank account and these monies shall be used for development of open spaces, parking facilities, improvements to pavements or common Urban Development Projects.

### SCHEDULE III

#### Qualified Person

Column I Nature of Development Activity		Column II Extent of Land (Where Relevant)	Column III Specific Task Requiring Approval of Qualified Person	Column IV Qualification/Designation Required of Qualified Person
1	If the development activity does not involve building work	Exceeding 0.5 Hectares	Site Layout Plan	Corporate member of the Institute of Town Planners
			Regulation Compatibility	Corporate member of the Institute of Town Planners
			Preparation of Sub division Plan	Licensed Surveyor and Leveller
2	If the development activity does not involve building work	Less than 0.5 Hectares	Site Layout Plan and sub division plan	Licensed Surveyor and Leveller
			Regulation compatibility	Corporate member of the Institute of Town Planners
3	If the development activity involves engineering works (construction of roads, culverts, drains)		Certificate stating engineering works have been carried out in conformity with the specifications in the permit	Chartered Civil Engineer
4	If the development activity involves a sub division or amalgamation of land	Exceeds 0.5 Hectares	Certificate stating that the Survey Plan is in conformity with the Town Planning Requirements	Corporate member of the Institute of Town Planners
5	If the development activity relates to building category A and B		1. Architectural Plan (Certificate stating development has been carried out in conformity with the approved plan and permit under his supervision)	Chartered Architect or Architect registered with the Architect Registration Board
			2. Structural Design Plan along with design calculations (Certificate stating that foundation and building are in accordance with approved plan and building is structurally safe)	Chartered Civil Engineer or Chartered Structural Engineer

<b>Column I Nature of Development Activity</b>		<b>Column II Extent of Land (Where Relevant)</b>	<b>Column III Specific Task Requiring Approval of Qualified Person</b>	<b>Column IV Qualification/Designation Required of Qualified Person</b>
			3. Service Plans (includes plans relating to the supply of electricity, water supply, sewerage, drainage and rain water harvesting, fire safety)	The relevant Engineer to the services provided:- Chartered Electrical Engineer, Chartered Civil Engineer Chartered Structural Engineer Chartered Building Services Engineer Chartered Mechanical Engineer
			4. Detailed plan of Air conditioning or mechanical ventilation (For installation, extension or alteration)	Chartered Mechanical Engineer Chartered Electrical Engineer
6	If the development activity relates to buildings of Sub Category CI of Category C	Residential up to 500 sq.m.	Architectural Plan (Certificate stating development has been carried out under his supervision in conformity with the approved Plan and Permit)	Chartered Architect or Architectural Licentiate, registered with the Architects Registration Board
		Non-Residential up to 300 sq.m.	Structural Design Plan along with design calculations (Certificate stating that building construction has been carried out in accordance with the approved Plan, under his supervision)	Chartered Civil Engineer or Chartered Structural Engineer, Sri Lanka Institute of Engineers (SLIE)
			Service Plan (Includes plans related to the supply of electricity, water, sewerage, drainage, rain water harvesting and fire safety) only, if required by the Authority at the time of submitting the application	The relevant Engineer out of the under-mentioned below: Chartered Electrical Engineer, Chartered Civil Engineer, Chartered Structural Engineer, Chartered Building Services Engineer, Chartered Mechanical Engineer (SLIE)

<b>Column I Nature of Development Activity</b>		<b>Column II Extent of Land (Where Relevant)</b>	<b>Column III Specific Task Requiring Approval of Qualified Person</b>	<b>Column IV Qualification/Designation Required of Qualified Person</b>
			Detailed Plan of Air-conditioning or Mechanical Ventilation (For installation, extension or alteration)	Chartered Mechanical Engineer Chartered Electrical Engineer (SLIE)
7.	If the development activity relates to building of Sub Category CII of Category C	Residential up to 400 sq.m.	Designing and Certification of Plans	Draught-Person (Building) at NVQ, Level V
		Non-Residential up to 200 sq.m.	Structural Designs, Service Designs, Air Conditioning and Artificial Ventilation	Relevant Members of the Sri Lanka Institute of Engineers
8	If the development activity relates to building of Sub Category CIII of Category C	Residential up to 200 sq.m  Non-Residential up to 100 sq.m.	A certificate confirming that the building has been constructed with structural stability according to the approved plan and building permit	Builder/Owner or any other person acceptable to UDA

**SCHEDULE IV**  
**Regulation 14**  
**Form “A”**

**Access to Residential Units**

	<b>Numbering of Dwelling Units Served</b>	<b>Minimum Width (Metres)</b>	<b>Maximum Length (Metres)</b>
1	Under 5 dwelling units	3.0	50
2	More than 5 but not more than 10 dwelling units	4.0	100
3	More than 10 but not more than 20 dwelling units	5.0	-
4.	More than 20 dwelling units	8.0	-

**SCHEDULE IV**  
**Regulation 15**  
**Form “B”**

**Access to Non-Residential Buildings**

<b>Maximum Extent of Land Served (sq.m.) Number of Units</b>	<b>Maximum FAR on each site</b>	<b>Minimum Width to Street (Metres)</b>	<b>Maximum Length of Street (Metres)</b>
Where the street serves more than 1 lot or site but not more than four lots and each lot not less than 300 sq.m.	2.5	6.0	75
Where the street serves only one lot or site need to be 1500 sq.m.	1.5	6.0	200

**SCHEDULE V**  
**Regulation 29**

**Parking Spaces Standards**

	<b>Use</b>	<b>sq.m. per Unit</b>	<b>Minimum Parking Requirement</b>
1	Residential	175	01
2	Commercial	200	01
3	Government / Semi Government	125	01
4	Industrial	200	01
5	Others	200	01

Parking Facility for following Special Usage as follows.

<b>Usage</b>	<b>Space</b>
Private Hospital and Nursing Homes	1 for 20 sq.m.
Consultation Room	2 for 10 sq.m.
Medical Laboratory	1 for 10 sq.m.
Out Patient Department (O.P.D.)	1 for 5 sq.m.
Private Schools/International Schools	1 for 20 sq.m.
Private Schools/Higher Education Institutions	1 for 30 sq.m. and 1 for 10 sq.m.
Nursery/Daycare Centre	1 for 20 sq.m.
Private Tuition Classes	1 for 20 sq.m.
Take Away Only	1 for 20 sq.m.
Restaurant	1 for 10 sq.m.
Cinema Halls	1 for 10 sq.m. or 1 for 20 sq.m. or more
Multi Purpose Hall	1 for 50 sq.m.
Library	1 for 50 sq.m.
Super Market	1 for 10 sq.m.
Design Centre	1 for 10 sq.m.

### **SCHEDULE V** **Regulation 29**

#### **Width of Aisles of Parking Stalls**

<b>Parking Angel</b>	<b>Bays on One Side (Meters)</b>	<b>Bays on Two Side (Meters)</b>	<b>Two Way Traffic (Meter)</b>
<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
Parallel	3.6	3.6	6.0
30 deg.	3.6	4.2	6.3
45 deg.	4.2	4.8	6.3
60 deg.	4.8	4.8	6.6
90 deg.	6.0	6.3	7.2

**Note:** The details given in above column 1, 2, 3 and 4 not applicable for lorry. But considering the lorry parking requirement for industry. The Urban Development Authority may granted.

**SCHEDULE VI**  
**Form “A”**  
**Regulation 37**

**Internal Clear Dimensions of Rooms**

<b>Room</b>	<b>Minimum Extent (sq.m.)</b>	<b>Minimum Length (m)</b>	<b>Minimum Width (m)</b>
(i) Where there is only one room in a dwelling unit.	12.0	4.0	3.0
(ii) Where there are more than one room in a dwelling unit			
(a) First room	10.0	--	2.4
(b) Additional rooms	8.0	--	2.4
(iii) Rooms in non residential buildings	7.5	--	2.4
(iv) (a) Kitchen	6.0	--	1.8
(b) Kitchen alcove	--	0.9	0.4

**SCHEDULE VI**  
**FORM “B”**  
**(Regulation 38)**

**Internal Clear Dimensions of Bathrooms and Toilets**

<b>Room</b>	<b>Minimum Width (Metres)</b>	<b>Minimum Length (Metres)</b>
Bath	1.5	1.2
Toilet	1.2	1.2
Combined Bath and Toilet	1.5	1.7

**SCHEDULE VI  
FORM “C”  
(Regulation 42)**

**Stair Cases**

<b>Type</b>	<b>Width of Stairs (cm)</b>	<b>Minimum Head Riser (m)</b>	<b>Riser (cm)</b>	<b>Tread (cm)</b>
(a) Internal stairs serving one upper floor only	75	2.0	19	22.5
(b) Stairs in building used as place of public assembly and public	105	2.1	17.5	22.5
(c) All other types	90	2.1	17.5	22.5

**SCHEDULE VI  
FORM "D"  
(Regulation 46)**

**Aggregate Constructed Area of Openings**

<b>Category</b>	<b>Aggregate unobstructed area of opening for Natural Lightening and Ventilation</b>	<b>% of area openable</b>
(1) Bathroom and toilet	1/10	100
(2) Vehicle Parking Garage	1/10	50
(3) Factories and Warehouses	1/10	50
(4) All other rooms	1/7	50

**SCHEDULE VI  
FORM “E”  
Regulation 56**

**Specifications as to Lifts**

- i. Lift at least at the main entrance and others shall be suitably installed for buildings with five and above stories. The main lift to be of 12 – 16 passenger capacity while others to be 8 – 12 passenger capacity.
- ii. Medium speed lifts shall be used for 5 – 10 storey buildings.
- iii. High speed lifts shall be used for buildings taller than that.



**SCHEDULE VII  
(Regulation 58)**

**Standard for Sanitary Facilities**

<b>Use</b>	<b>Extent (sq.m.)</b>	<b>Toilets No.</b>	<b>Wash Basin No.</b>
All Residential Building Units	150	1	1
Offices/Shops/Institutions	100	Male 1 Female 1	Male 1 Female 1
Cinema Halls/Vehicle Parks/Auditoriums	100	Male 1 Female 1	Male 1 Female 1
Hotels/Guest Houses	100	Male 1 Female 1	Male 1 Female 1
Other	100	1	1

**SCHEDULE VIII  
FORM “A”  
Regulation 46**

**PART I**

<b>USED AND TYPES OF BUILDINGS</b>		
	<b>Uses</b>	<b>Types of Buildings</b>
1.	Residential	Including Houses, Municipal Dwellings, Apartments, Home for Elders
2.	Commercial	Including Office Building, Hotels, Motels, Guest House, Public Lodging, Shopping Centres, Supermarkets, Restaurants, Car Parks
3.	Industrial	Including Factories, Workshops, Warehouse, Industrial Establishments, Infrastructure Services Centre
4.	Institutional	Government Buildings, Semi-Government Buildings and other Public Buildings

## PART II

<b>MINIMUM EQUIPMENT RAINWATER HOLDING PROVISION REQUIREMENT</b>						
* Annual Rainwater Band (mm)		Minimum Volume required to collect from 100 m <sup>2</sup> of roof area and hard paved area				
		Residential		Commercial	Industrial	Institutional
		Domestic (cu.m.)	Apartments/ Condominiums (cu.m.)	(cu.m.)	(cu.m.)	(cu.m.)
1	750 - 1000	1.5	2.5	5	8	10
2	1000 - 1500	1.5	2.5	3	8	10
3	1500 - 2000	1.5	2.5	3	5	10
4	2000 - 2500	1.5	2.5	3	3	5
5	2500 - 3000	1.5	2.5	2	2	3
6	3000 - 4000	1.5	2.5	1	1	2
7	4000 - 5000	1.5	2.5	0.5	1	1
8	5000 - 6000	1.5	2.5	0.5	0.5	0.5

\* The rainfall bands are taken from the Sri Lanka National Atlas published by the Department of Surveys.

\*\* Required Rainwater Holding Provision (m<sup>3</sup>) =  $\frac{\text{Minimum Volume}}{100} \times \text{Total Roof area and paved area}$

Note: The ratio of the Required Rainwater Holding Provision both by Storage and Infiltration, shall be determined by the respective local authority taking into consideration; the location, groundwater table fluctuation, available space, topography, permeability, type of soil.

### PART III

PROPOSED DISTRIBUTION OF RAIN WATER HARVESTING HOLDER PROVISION										
Storage (m <sup>3</sup> )				Ground Water Infiltration (m <sup>3</sup> )						Total m <sup>3</sup>
Above Groun d	On Groun d	Below Groun d	Othe rs	Wastew ater Pit	Unpav ed Groun d	Unlined Pond	Dug Well	Boreh ole	Other	

## SCHEDULE IX

### SAFETY STANDARDS FOR BUILDING ACCESSIBLE AND USEABLE FOR DISABLED

<u>STANDARDS</u>	
Entrance/Exit	<ul style="list-style-type: none"> <li>One exit/entrance in a building should be wide enough for wheel chairs to pass through.</li> <li>Its width shall be 80 cm or more.</li> <li>In principle, guide blocks etc. shall be installed from the entrance/exit to the reception etc.</li> </ul> <p>At least one entrance/exit to each room shall be constructed so that wheelchair users can pass through it, and its width shall be 80 cm or more.</p>
Corridors etc.	<ul style="list-style-type: none"> <li>Corridors etc. shall have a width of 120 cm or more so that a wheelchair user can pass through them, and spaces where a wheelchair user can turn his wheelchair around shall be provided at fixed intervals in every passageway.</li> <li>Where there is a level difference, an equipment to eliminate the difference or slope way shall be installed.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>Handrails shall be installed.</li> <li>Warning blocks shall be installed at the top of stairs.</li> </ul>
Slope ways	<ul style="list-style-type: none"> <li>Handrails shall be installed.</li> <li>Their width shall be 120 cm or more and their incline shall be 1/12 or less.</li> <li>In a case where the height exceeds 75 cm, landings with a length or 150 cm or more shall be provided at intervals of at least 75 cm.</li> <li>Warning blocks shall be installed at the tops of slope ways.</li> </ul>
Elevatory Equipment	<ul style="list-style-type: none"> <li>Building with aggregated floor areas of 2,000 sq.m. or more and two storeys or more shall, in principle, be provided with elevators that meet the following specifications.</li> <li>Entrance/exit shall have a width of 80 cm or more, the floor area of their cages shall be 1.83 sq.m. or more, they shall have a depth of 135 cm or more, the minimum dimensions of the elevator lobbies shall be square with sides of 150 cm, and the specifications shall provide for the use of the elevators by wheelchair users and visually or auditory impaired persons.</li> </ul>
Lavatories	<ul style="list-style-type: none"> <li>Where lavatories are provided in a building, at least one toilet stall for wheelchair users shall be provided in the said building.</li> <li>Each floor in the building shall be provided with a urinal.</li> </ul>
Parking Area	<ul style="list-style-type: none"> <li>When a parking area is provided, one or more parking spaces for wheelchair users (minimum width : 35 cm) shall be provided.</li> <li>The said space shall be located close to the entrance/exit of the parking area.</li> </ul>

Passageways on the Building Site	<ul style="list-style-type: none"> <li>• A passageway leading to one entrance/exit in the building shall be such that it can be used by wheelchair users, and provision shall be made for the guidance of visually impaired persons.</li> <li>• Its width shall be 120 cm. or more and where there is a level difference, a slope way etc. shall be provided.</li> <li>• Guide blocks etc. shall be installed for the use of visually impaired persons.</li> </ul>
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## **Residential Zone I**

- North:** From the intersecting point of Bulathgama Pasal Mawatha and Northern boundary of Balangoda Urban Council limit (Mala Dola), a line drawn East wards, North wards, South East wards, North East wards, South wards and North East wards along the Northern boundary of Balangoda Urban Council limit until it meets the centre line of By Road from Bulathgama to Monaragala.
- East:** From the last mentioned point a line drawn South East wards along the Northern boundary of Balangoda Urban Council limit until it meets the centre line of Tewatta State Road; thence, a line drawn South wards and West wards along the said centre line until it meets the centre line of Delgaha Hena Road; thence, a line drawn South wards along the centre line of said road until it meets the centre line of Balangoda - Rassagala main road; thence, a line drawn North West wards along the centre line of Rassagala road until it meets one miles post (1 km); thence, a line drawn North wards along the Eastern boundary of Deniya Kumbura Yaya paddy land until it meets the Northern boundary of said paddy land; thence, a line drawn West wards along the said boundary until it meets the Western boundary of said paddy land; thence, a line drawn South wards along the said boundary until it meets the left reservation line of Gama-Ela.
- South:** From the last mentioned point a line drawn North West wards along the left reservation line of Gama-Ela until it meets the Eastern boundary of Pallewela Yaya paddy land; thence, a line drawn North wards along the said boundary until it meets the centre line of Balangoda - Rassagala road; thence, a line drawn North wards passing the said centre line along the Eastern boundary of Pallekumbura Yaya paddy land until it meets the Northern boundary of said paddy land; thence, a line drawn South wards along Northern and Western boundaries passing the centre line of Balangoda - Rassagala main road said until it meets the left reservation line of Gama-Ela towards South wards; thence, a line drawn North West wards along the said reservation until it meets the Eastern boundary of

Peellakumbura Yaya paddy land; thence, a line drawn North wards along the Eastern boundary of Peellakumbura Yaya until it meets the centre line of Balangoda - Rassagala road.

**West:** From the last mentioned point a line drawn North wards along the Eastern boundary of Conservation Zone II until it meets the Northern boundary of the said zone; thence, West wards along the said boundary until it meets the Western boundary of the said zone; thence, South wards and North West wards along the said boundary until it meets the left reservation of Gama-Ela; thence, a line drawn North wards along the said reservation until it meets the Southern and Eastern boundaries of Bulathgama Yaya paddy land; thence, a line drawn North East wards, South West wards and North West wards along the said paddy land until it meets the Northern boundary of said paddy land; thence, a line drawn South West wards, North West wards, South West wards and North West wards along the said Northern boundary until it meets the Western boundary of Balangoda Urban Council limit; thence, a line drawn North wards along the said boundary until it meets the starting point.

## **Residential Zone II**

**North:** From the starting point of intersecting point of Northern boundary of Balangoda Urban Council limit and centre line of Bankiyawatta Water Tank road, a line drawn North wards, East wards, South East wards and South West wards along the Northern boundary of said Urban Council limit until it meets the Northern boundary of Ellawattayaya paddy land.

**East:** From the last mentioned point a line drawn South East wards, North East wards along the Northern boundary of Balangoda Urban Council limit until it meets the Southern reservation line of Walawa river; thence, a line drawn South East wards along the Southern reservation line of Walawa river, until it meets the centre line of Balangoda - Badulla main road.

**South:** From the last mentioned point a line drawn North West wards, South West wards along the centre line of Balangoda - Badulla road, until it meets the Southern and Eastern boundaries of Polgaha Arava paddy land; thence, a line drawn North wards and East wards along the Eastern boundary of said paddy land until it meets the Northern boundary of said paddy land; thence, a line drawn North West wards, South West wards along the Northern boundary of said paddy land until it meets the Western boundary of said paddy land; thence, a line drawn South wards along the Western boundary of said paddy land until it meets the centre line of Badulla - Balangoda main road; thence, a line drawn West wards along the centre line of the said road until it meets the centre line of Kirindigala Church road.

**West:** From the last mentioned point a line drawn North East wards along the centre line of Kirindigala Church road, until it meets the centre line of Water Tank road; thence, a line drawn North West wards along the centre line of said road, until it meets the centre line of Narangaha Ela; thence, a line drawn North West wards until it meets the Eastern boundary of Conservation Zone 7; thence, a line drawn North West wards and North wards along the said Eastern boundary, until it meets the centre line of 1<sup>st</sup> Lane of Water Tank road; thence, along the said centre line until it meets the centre line of Water Tank road; Further along said centre line, until it meets the centre line of Bankiyawatta road; thence, East wards and North West wards along the said centre line, until it meets starting point.

**Please note that:** Paddy lands of Conservation Zone No. 6 and 8 are included in the Residential Zone II.

### **Residential Zone III**

**North:** From a starting point of intersecting point of centre line of Mala Dola which flows through Raiwatta Tea Factory Land indicate in final Topo Plan No. 06 and Northern boundary of Balangoda Urban Council Limit, a line drawn South East wards and North East wards along the said Northern boundary of until it meets



the centre line of Raiwatta Estate road; thence, a line drawn South East wards along the said centre line until it meets the centre line of Badulla - Colombo main road; Further East wards along the centre line of Karadiya Mulla road until it meets the centre line of Gama-Ela.

**East:** From the last mentioned point a line drawn South wards, South West wards, South East wards and South West wards along the centre line of Gama-Ela until it meets the Northern reservation limit of Walawa river.

**South:** From the last mentioned point a line drawn North West wards, South West wards and North West wards along the Left reservation of Walawa river until it meets the centre line of Badulla - Colombo road.

**West:** From the last mentioned point a line drawn North West wards along the Left reservation of Walawa river, until it meets the centre line of Tributary falls South West to Walawa river; thence, North East wards along the said centre line until it meets the starting point.

#### **Residential Zone IV**

**North:** From a starting point of intersecting point of Maha Kumbura Ela and Left reservation limit of Badulla - Colombo main road, a line drawn North East wards, South East wards along the left reservation limit of the said road until it meets the Southern reservation limit of Walawa river.

**East:** From the last mentioned point a line drawn South East wards along the South Left Bank reservation of Walawa river, until it meets the Eastern boundary of Balangoda Urban Council limits; thence, a line drawn South West wards, South East wards along the said boundary until it meets the centre line of Anada Meth Gama road.

**South:** From the last mentioned point a line drawn West wards and South wards along the Eastern boundary of Balangoda Urban Council limit, further North West wards along said boundary until it meets the centre of Shailathalarama - Mugunamala road.

**West:** From the last mentioned point a line drawn North East wards along the centre line of Shailathalarama - Mugunamala road, until it meets the centre line of Temple by road at Anada Meth Gama, Thalawa; thence, a line drawn North West wards along the centre line of said road and North wards along the Eastern boundary of No. 37 paddy land indicate in FVP No. 298/R319, until it meets centre line of Colombo - Badulla road; thence, North East wards along the said centre line until it meets the starting point.

**Please note that:** Conservation Zone 13 indicate in the Residential Zone IV.

#### **Residential Zone V**

**North:** From a starting point of intersecting point of Southern reservation line of Dorawela Oya and centre line of Faleel Hajjiar Avenue, a line drawn South East wards, North East wards along the said reservation line until it meets the centre line of Dorawela river by road.

**East:** From the last mentioned point a line drawn South East wards along the Southern reservation line of Dorawela river until it meets the Eastern boundary of Balangoda Urban Council; thence, a line drawn South wards and South West wards along the said Urban Council limit until it meets the centre line of Subaya Aleen Avenue.

**South:** From the last mentioned point a line South West wards and South wards until it meets the centre line of Kahatapitiya road; Further, West wards along the said centre line until it meets the centre line of Balangoda - Weligepola main road.

**West:** From the last mentioned point a line drawn North West wards along the centre line of Balangoda - Weligepola road until it meets the centre line of Kirimandala by road; thence, East wards along the said centre line until it meets the Eastern boundary of Assessment No. 209/14 of “Depalay”; thence, a line drawn North wards along the said boundary until it meets the centre line of Musthapa Avenue; thence, a line drawn North West wards along the said centre line of until it meets the centre line of Faleel Hajjia Avenue; thence, North wards along the said centre line until it meets the starting point.

**Please note that:** Paddy land of Conservation Zone 15 is included in the Residential Zone No. V

#### **Residential Zone VI**

**North:** From a starting point of meeting point of centre line of Ambalan Ela and Southern boundary of Mahawatta Yaya Paddy Land, a line drawn East wards along the Southern boundary of said paddy land passing the centre line of Sudagala Ela until it meets the Northern and Eastern boundaries of Deft School premises in West wards.

**East:** From the last mentioned point a line drawn South West wards and South wards along the Western boundary of Mahawatta Yaya Paddy Land until it meets the Northern boundary of Erambadeniya Arawa Paddy Land; thence, a line drawn West wards along the said boundary until it meets the centre line of Jeilani Vidyala Avenue.

**South:** From the last mentioned point a line drawn South West wards, North West wards along the Northern boundary of Galpotta Paddy Land, until it meets the centre line of Gravel road towards houses.

**West:** From the last mentioned point a line drawn North East wards along the centre line of Depa Ela to Ambalan Ela, until it meets the starting point of Southern boundary of Mahawatta Yaya Paddy Land.

## **Residential Zone VII**

**North:** From a starting point of intersecting point of Western boundary of paddy land mentioned in FVP 482 and centre line of Ambalan Ela, thence, a line drawn East wards and South East wards along the Southern boundary of said paddy land, until it meets the centre line of by road towards 18 Acres.

**East:** From the last mentioned point a line drawn South West wards, South East wards and East wards along the centre line of By road to 18 Acres, until it meets the centre line of Balangoda - Kaltota road; thence, a line drawn South East wards along the said centre line until it meets the centre line of Dunugahawatta road; thence, a line drawn South West wards along the said centre line until it meets the centre line of school circular road; Further, North East wards along the said centre line until it meets the centre line of By road of Kumaragama - Miriswatta road; thence, North East wards and South East wards along the said centre line until it meets the centre line of Balangoda - Kaltota road; thence, South East wards along the said centre line until it meets the Gravel road towards Ambalan Ela; thence, along the said centre line until it meets the Southern boundary of Conservation Zone No. 17; thence, North East wards, South East wards and North East wards along the said Southern boundary until it meets the Eastern boundary of Balangoda Urban Council limit; thence, East wards and South East wards along the said boundary until it meets the centre line of Balangoda - Kaltota road.

**South:** From the last mentioned point a line drawn South West wards, North West wards, South wards, North West wards and South West wards, North wards and South wards along the Southern boundary of Balangoda Urban Council limit until it meets centre line of Kumaragama - Randolugama road.

**West:** From the last mentioned point a line drawn North wards along the centre line of Kumaragama - Randolugama road until it meets the centre line of Colombo - Badulla road; thence, a line drawn North West wards, East wards, North West wards, North wards and North East wards along the said centre line until it meets the Northern boundary of No. 28 Conservation Zone; thence, a line drawn North East wards along the said Northern boundary until it meets the centre line of Ambalan Ela; thence, along the centre line of said Ela until it meets the starting point.

**Please note that:** The paddy lands of No. 10, 18, 20, 21, 25, 27 and 28 of Conservation Zone are indicated in Residential Zone VII.

### **Residential Zone VIII**

**North:** From a starting point of meeting point of Bataketiya Dola and Western boundary of Balangoda Urban Council limit, thence, a line drawn North East wards, South wards along the centre line of said Dola, until it meets the Southern boundary of Watukaragoda Paddy Land; thence, North East wards, East wards and South wards and again East wards, North wards and North East wards along the said Southern boundary until it meets the centre line of Bombuwa road; thence, South East wards along the centre line of said road until it meets the centre line of Karaviketiya road.

**East:** From the last mentioned point a line drawn South West wards, South East wards and North East wards along the centre line of Karaviketiya road, until it meets the centre line of Surveyor Department Office road; thence, a line drawn South East wards along the Southern boundary of Assessment No. 9/15 premises until it meets the Southern boundary Assessment No. 360 premises on Balangoda - Colombo main road; thence, South East wards along the said boundary, until it meets the centre line of Colombo - Balangoda main road; thence, South wards, South East wards, West wards and South East wards along the said centre line,

until it meets the centre line of Kumaragama - Randolu Uyanagama road; thence, a line drawn South wards along the centre line of Randolu Uyanagama road, until it meets the Southern boundary of Balangoda Urban Council limit.

**South:** From the last mentioned point a line drawn South West wards, South East wards, South West wards, North West wards, North East wards, West wards, South East wards, West wards and South West wards and again North West wards along the Southern boundary of Balangoda Urban Council limit, until it meets the centre line of Welay Ela.

**West:** From the last mentioned point a line drawn North East wards, South East wards, North East wards, East wards and North East wards, East wards, North East wards, East wards and North East wards along the Western boundary of Balangoda Urban Council limit, until it meets the centre line of Budahote Ela; thence, a line drawn North East wards and North West wards along the said centre line, until it meets the centre line of Horaketiya road; thence, a line drawn North East wards along the said centre line, until it meets the Western boundary of Balangoda Urban Council limit; thence, a line drawn North West wards, West wards, North East wards, North West wards and North wards along the said boundary until it meets the starting point.

**Please note that:** The paddy lands of No. 23, 24 and 26 of Conservation Zone are included in Residential Zone VIII.

## **Residential Zone IX**

**North:** From the meeting point of Western boundary of Balangoda Urban Council limit and Northern boundary of No. 4 paddy land depicted in FVP 477, thence, a line drawn North East wards along the centre line of Dodamgallana road (Town Limit) until it meets the Southern reservation line of Dorawela Oya.

**East:** From the last mentioned point a line drawn South East wards and South West wards, South East wards, North East wards and South East wards along the Southern reservation line of Dorawela Oya, until it meets the Southern boundary of Conservation Zone 32; thence, South West wards along the said boundary until it meets the centre line of Bombuwa road.

**South:** From the last mentioned point a line drawn West wards, South West wards and North West wards along the Northern boundary of Conservation Zone 31 (Bomбуwela Paddy Land), until it meets the Western boundary of Balangoda Urban Council limit.

**West:** From the last mentioned point a line drawn North West wards, North East wards, and North West wards along the Western boundary of Urban Council limit, until it meets the starting point.

**Please note that:** Conservation Zone No. 32 of paddy land is included in Residential Zone IX.

### **Residential Zone X**

**North:** From a starting point of intersection point of Western boundary of Balangoda Urban Council limit and Southern boundary of Peella Paddy Land (Conservation Zone 34), a line drawn South East wards along the Southern boundary of Paddy Land of Peellakumbura, until it meets the Southern reservation line of Maha Ela.

**East:** From the last mentioned point a line drawn South East wards, South West wards and South East wards along the Southern reservation limit of Maha Ela until it meets the centre line of Hunukumbura road.

**South:** From the last mentioned point a line drawn South West wards, West wards, North West wards, South West wards and North West wards along the Left reservation

limit of Dorawela Oya, until it meets the Northern boundary of Thambilin Kandendiya Yaya Paddy Land depicted in Conservation Zone 32.

**West:** From the last mentioned point a line drawn North West wards, North East wards and North West wards along the left reservation line of Dorawela Oya, until it meets the Western boundary of Balangoda Urban Council limit; thence, North East wards and North West wards along the said Urban Council limit until it meets the starting point.

**Please note that:** A parts of Conservation Zone No. 33, 32 is included in Residential Zone X.

### **Mixed Residential Zone I**

**North:** From a starting point of intersecting point of Tewatta Estate road and Northern boundary of Balangoda Urban Council limit, thence, a line drawn South East wards and North East and East wards along the Northern boundary of the said Urban Council limit, until it meets the centre line of Bankiyawatta road.

**East:** From the last mentioned point a line drawn South West wards, South East wards along the centre line of Bankiyawatta road, until it meets the centre line of 1<sup>st</sup> Lane of Water Tank; thence, a line drawn South West wards along the said centre line, until it meets the Western boundary of Conservation Zone 7; thence, South East wards along the said boundary until it meets the centre line of Narangaha Ela; Further, a line drawn South East wards along the said centre line, until it meets the centre line of Kirindigala Church road; thence, South West wards along the said centre line, until it meets the narrow road through St. Agnas Balika Vidyalaya.

**South:** From the last mentioned road a line drawn West wards along the centre line of the said narrow road, until it meets the centre line of Balangoda - Rassagala road;



thence, North West wards along the said centre line until it meets the Western boundary of Conservation Zone 5; thence, South wards along the said Western boundary until it meets the Northern boundary of Conservation Zone 34; thence, North West wards and South West wards along the said boundary until it meets the centre line of tributary to Maha Ela.

**West:** From the last mentioned point a line drawn North wards along the centre line of tributary, (Passing the centre line of Rassagala - Balangoda road) towards North East wards and West wards along the centre line of Delgaha Hena road, until it meets the centre line of Tewatta Estate road; thence, North East wards until it meets the starting point.

**Please note that:** Conservation Zone No. 5 included in Mixed Residential Zone I.

## **Mixed Residential Zone II**

**North:** From the starting point of Northern boundary of Bambaragaha Arawa Paddy Land and Northern boundary of Balangoda Urban Council limit, thence, a line drawn North East wards, South East wards along the Northern boundary of said Urban Council limit until it meets the Northern boundary of Boralugoda Arawa Paddy Land.

**East:** From the last mentioned point a line drawn South West wards, South wards, North wards and South West wards along the Eastern boundary of Balangoda Urban Council Limit until it meets the centre line of Karadiyamulla road.

**South:** From the last mentioned point a line drawn West wards along the centre line of Karadiyamulla road, a line drawn North West wards along the centre line of Raiwatta Estate road crossing the centre line of Colombo - Badulla road until it meets the Northern boundary of Balangoda Urban Council limit.

**West:** From the last mentioned point a line drawn North East wards, East wards, North wards, West wards and North East wards along the Northern boundary of Balangoda Urban Council limit until it meets the starting point.

**Please note that:** Conservation Zone No. 10, 11, 12 and 12-1 are included in Mixed Residential Zone II.

### **Mixed Residential Zone III**

**North:** From the meeting point of centre line of By road of Balangoda New Town and Left reservation limit of Dorawela Oya, a line drawn East wards along the said reservation limit until it meets the centre line of Mugunamala road; thence, East wards along the said centre line until it meets the Eastern boundary of Balangoda Urban Council limit; thence, North East wards along the said boundary until it meets the centre line of Shailathalarama - Mugunamala road.

**East:** From the last mentioned point a line drawn South East wards along the Eastern boundary of Balangoda Urban Council limit until it meets the centre line of Faleel Hajjiar Avenue; thence, South wards, East wards along the centre line of Faleel Hajjiar Avenue until it meets the centre line of Musthapa Avenue; thence, South East wards along the said centre line until it meets the Eastern boundary of Assessment No. 209/14 premises; thence, South East wards along the said boundary until it meets the centre line of Kirimandala narrow road.

**South:** From the last mentioned point a line drawn South West wards along the centre line of Kirimandala narrow road, further towards the North West wards along the centre line of the said road crossing the centre line of Balangoda - Kaltota road, until it meets the centre line of the 18 Acres, road.

**West:** From the last mentioned point a line drawn South West wards and North West wards along the centre line of 18 Acres road until it meets the centre line of 18

Acres by road; Further, North East wards along the centre line of the said by road until it meets the Eastern boundary of Conservation Zone 29; thence, along the said boundary until it meets the centre line of Balangoda New Town by road; thence, North wards and North West wards along the said centre line until it meets the starting point.

#### **Mixed Residential Zone IV**

**North:** From the intersecting point of meeting point of Bataketiya Dola and Dorawela Oya, thence, a line drawn North East wards and South East wards along the Southern reservation line of Dorawela Oya until it meets the centre line of Colombo - Badulla main road.

**East:** From the last mentioned point a line drawn South wards, South West wards, South East wards and North East wards along the centre line of Colombo - Badulla road, until it meets the centre line of New Town by road; thence, South wards along the centre line of Colombo - Badulla road until it meets the centre line of City Garden Avenue.

**South:** From the last mentioned point a line drawn South West wards along the centre line of Colombo - Badulla road, towards West wards along the Western boundary of Assessment No. 360 Fuel filling station until it meets the Eastern boundary of Assessment No. 9/15 premises; thence, North West wards along the said Eastern boundary, until it meets the centre line of Government Survey Departmental Office road; thence, North West wards along the centre line of said road, until it meets the centre line of Karawketiya road.

**West:** From the last mentioned point a line drawn North West wards, North wards, North East wards and North West wards along the centre line of Karawketiya road, until it meets the Eastern boundary of No. 33 Conservation Zone; thence, North East wards along the said zone until it meets the starting point.

## **Special Conservation Zone**

**North:** From the starting point of intersecting point of Southern boundary of Maha Kumbura (1 low) land and centre line of Jayanthi School Circular road, a line drawn East wards and North east wards, South wards, East wards, North wards, East wards and South East wards along the Southern boundary of said paddy land, until it meets the centre line of Kalumukalana by road, Thalawa Temple.

**East:** From the last mentioned point a line drawn South wards along the centre line of Kalumukalana by road, Thalawa temple until it meets the Shailathalarama road; thence, West wards along the centre line of Shailathalarama road until it meets the centre line of Thalawa Temple road, Mugunamala.

**South:** From the last mentioned point a line drawn South East wards along the Eastern boundary of Balangoda Urban Council limit, until it meets the centre line of Mugunamala Kanda road; thence, West wards along the centre line of the said road until it meets the Left reservation limit of the Balangoda New Town by road.

**West:** From the last mentioned point a line drawn North West wards along the left reservation line of Balangoda New Town By road, a line drawn 75 m East wards towards North East wards parallel to centre line of Colombo - Badulla main road, until it meets the centre line of land sale road lay on in front of Jayanthiya School; thence, North East wards along the centre line of said road until it meets the centre line of Jayanthiya School Avenue; thence, North West wards along the centre line of said road until it meets the centre line of Jayanthiya School Circular road; thence, a line drawn South East wards until it meets starting point.

**Please note that:** The existing development activities such as residential, school building can be permitted within this zone. So as to the Urban Development Authority (UDA) may have power

to grant the permission the development which are not affected to made environmental and structural changes.

### **Institutional Zone**

**North:** From the starting point of intersecting point of centre line of National School Circular road and centre line of Dunugahmadala Watta road, a line drawn East wards along centre line of Dunugahmadala Watta road until it meets the centre line of Balangoda - Kaltota road.

**East:** From the last mentioned point a line drawn South East wards along the centre line of Balangoda - Kaltota road, until it meets the centre line of Kahatapitiya road; thence, it meets the centre line of Subaya Aleen Avenue; thence, a line drawn North West wards and North East wards along the centre of the said road, until it meets the centre line of Musthapa Avenue; thence, North East wards along the centre line of said road until it meets the Eastern boundary of Balangoda Urban Council limit; Further, North East wards and South East wards along the said boundary until it meets the centre line of Balawatte Kadura road.

**South:** From the last mentioned point a line drawn North West wards along the Eastern boundary of Conservation Zone No. 17, until it meets the Northern boundary of the said zone; thence, West and North West wards along the said Northern boundary until it meets the Western boundary; thence, a line drawn South East wards and South West wards along the said Western boundary until it meets the centre line of Balangoda - Kaltota road.

**West:** From the last mentioned point a line drawn North West wards along the centre line of Balangoda - Kaltota road, until it meets the centre line of Kumaragama - Miriswatta road; thence, North West wards and South West wards until it meets National School Circular road; thence, North West wards along the said centre line until it meets the starting point.

## **Commercial Zone**

**North:** From a point starting point of Left reservation of Balangoda - Rassagala road and Eastern boundary of Conservation Zone No. 5; thence, a line drawn South East wards along the centre line of narrow road lay along St. Agnas Balika Vidyalaya premises; thence, South East wards along the centre line of the said road, until it meets the centre line of Colombo - Badulla road.

**East:** From the last mentioned point a line drawn East wards and South East wards along the centre line of Colombo - Badulla road, until it meets the Northern boundary of Conservation Zone No. 14; thence, a line drawn South West wards, North West wards and South West wards along the said Northern boundary until it meets the Western boundary of the said Conservation Zone; thence, North East wards, South East wards and South West wards along the said Western boundary until it meets the Northern and Western boundaries of Kandayvihara Special Conservation Zone; thence, a line drawn North West wards, South East wards and South West wards along the Western boundary of said Special Conservation Zone, until it meets the centre line of Balangoda New Town by road; thence, a line drawn South East wards and South wards along the centre line of the Left reservation line of New Town by road, until it meets the centre line of Balangoda - Kaltota road.

**South:** From the last mentioned point a line drawn South and South West wards along the left reservation line of Balangoda New Town by road until it meets the centre line of Colombo - Badulla road; thence, a line drawn South West wards, North West wards and North wards along the said centre line until it meets the centre line of By road to Katugodella.

**West:** From the last mentioned point a line drawn North wards along the left reservation line of Colombo - Badulla road towards North West wards along the left reservation line of Dorawela Oya until it meets the Eastern boundary of

Conservation Zone No. 33; thence, a line drawn North West wards along the said Eastern boundary until it meets the left reservation line of Gama Ela; thence, North East wards along the said reservation limit, until it meets the Southern boundary of No. 34, Conservation Zone passing Massanna road; thence, a line drawn East wards along the said Southern boundary until it meets the Eastern boundary of the said zone; Further, North East wards, West wards and North wards along the said boundary until it meets the starting point.

### **Water Ways Reservation**

#### **Walawa River Bank Reservation**

##### **Left Bank Reservation:**

Starting from the point of centre line of Walaway Ganga and centre line of Kuda Ela to Walaway Ganga depicted as Lot No. 6 in Final Topo Plan towards South West wards, thence, a line drawn North East wards along the centre line of the said Ela until it meets a point at a distance 33 m North wards from the Left reservation limit of Walaway Ganga; thence, a line drawn South East wards, North East wards, South East wards, North East wards and South East wards along the said point (33 m) parallel to said left bank until it meets the Eastern boundary of Balangoda Urban Council limit; thence, South West wards along the said Urban Council limit until it meets the centre line of Walaway Ganga to enclose the area.

##### **South Bank Reservation:**

Starting from the point where the centre line of Walaway Ganga and Northern boundary of Balangoda Urban Council limit, a line drawn North West wards along the said Urban Council limit, until it meets South Bank of Walaway Ganga; thence, meets a point at a distance of 33 ft (10 m) from South Bank of the said river in West wards; thence, a line drawn West wards, South East wards, East wards, South East wards, North East wards and South wards parallel to said river bank, until it meets the Eastern boundary of said Urban Council limit; thence, East wards along the said Urban Council limit until it meets the centre line of Walaway Ganga to enclose the area.

## **Dorawela Oya**

### **Left Bank Reservation:**

Starting from the point where the centre line of Dorawela Oya and Western boundary of Balangoda Urban Council limit meets, thence, along the said Urban Council limit until it meets the Left reservation limit of the Dorawela Oya; thence, along the said left reservation limit until it meets a point at a distance of 10 ft towards East wards; thence, a line drawn South wards, South West wards, South East wards, North East wards, South East wards, North East wards, South East wards and North East wards parallel to the Left reservation limit of the said Oya towards East wards, until it meets the Eastern boundary of Balangoda Urban Council limit; thence, along the said boundary until it meets the centre line of Dorawela Oya to enclose the area.

### **South Bank Reservation:**

From the meeting point of intersecting point of centre line of Dorawela Oya and Western boundary of Balangoda Urban Council limit, thence, a line drawn along the said boundary until it meets a point 10 ft. way from the South bank reservation of Dorawela Oya; thence, a line drawn South East wards, North East wards, South East wards, East wards, South East wards, North East wards and South East wards along the 10 ft. parallel line drawn along the South bank of the said Oya, until it meets the Western boundary of Balangoda Urban Council limit; thence, a line drawn North East wards along the said boundary until it meets the centre line of Dorawela Oya to enclose the area.

the said Urban Council limit until it meets the centre line of Dorawela Oya to enclose the area.

## **Wey Ganga Reservation**

### **South Bank Reservation:**

Starting from the point of centre line of Wey Ganga and Southern boundary of Balangoda Urban Council limit, a line drawn



**Conservation Zone No. 1 (Paddy Land)**

The paddy land known as Bulathgama Yaya denoted as Lot No. 129 extending towards the North, East, South and West boundaries in the Final Village Plan No. 469 (Bulathgama) of 1940.

**Conservation Zone No. 2**

The paddy land called Peella Paddy Yaya extending towards the North, East, South and West boundaries in Town Survey Plan 1:20000 of No. 75-19 in 1999.

**Conservation Zone No. 3 (Paddy Land)**

The paddy land called Pallewela Yaya extending towards the North, East, South and West in the Town Survey Plan 1:20000 of No. 75-19 in 1999.

**Conservation Zone No. 4 (Paddy Land)**

The paddy land called Deniya Kumbura extending towards the North, East, South and West in the Town Survey Plan 1:20000 of No. 75-19 in 1999.

**Conservation Zone No. 5 (Paddy Land)**

The paddy land called Suduhakuru Mulla Yaya extending towards the North, East, South and West boundaries in Final Village Plan No. 471 (Pallewela) of 1940.

**Conservation Zone No. 6 (Paddy Land)**

The paddy land called Ellawatta Yaya extending towards the North, East, South and West boundaries in the Final Village Plan No. 470 (Ellawatta) of 1940.

**Conservation Zone No. 7 (Paddy Land)**

The paddy land called Pahala Kumubura and Narahenyaya extending towards the North, East, South and West boundaries in the Final Village Plan No. 471 (Pallewela) of 1940.

**Conservation Zone No. 8 (Paddy Land)**

The paddy land called Kumbukgahayata and Mahaliyadda depicted in Lot No. 23 extending towards the North, East, South and West boundaries in the Final Village Plan No. 298 (Kirindigala) of 1942.

**Conservation Zone No. 9 (Paddy Land)**

The paddy land called Pahala Arawa and Polgaha Arawa depicted in Lot No. 18 and 17 extending towards the North, East, South and West boundaries in the Final Village Plan No. 298 (Kirindigala) of 1942.

**Conservation Zone No. 10 (Paddy Land)**

The paddy land called Olugantota depicted in Lot No. 9 extending towards the North, East, South and West boundaries in the Final Topo Plan No. 6 of 1940.

**Conservation Zone No. 11 (Paddy Land)**

The paddy land called Olugantotayaya and Heengal Arawa extending towards the North, East, South and West boundaries of Final Topo Plan No. 6 of 1940.

**Conservation Zone No. 12 (Paddy Land)**

The paddy land called Bambaragaha Arawa and Bolugoda Arawa depicted in Lot No. 2 and 5 (Ella Arawa) extending towards the North, East, South and West boundaries of Final Village Plan No. 377 of 1938.

**Conservation Zone No. 12-i (Paddy Land)**

The Lot No. 6 and 10 depicted in the Final Village Plan No. 299/R 129 (Olugantota) extending towards the North, East, South and West boundaries of 1935 of paddy land.

**Conservation Zone No. 13 (Paddy Land)**

The paddy land depicted as Lot No. 44 extending towards the North, East, South and West boundaries in the Final Village Plan No. 298/A 312 (Olugantota) of 1942.

**Conservation Zone No. 14 (Paddy Land)**

The paddy land called Mahakumbura depicted as Lot No. 37 extending towards the North, East, South and West in the Final Village Plan No. 298/R 319 (Kirindigala) of 1942.

**Conservation Zone No. 15 (Paddy Land)**

The paddy land called Gorokgahamada Yaya depicted as Lot No. 6 and 8 extending towards the North, East, South and West boundaries of Final Village Plan No. 482 (Gorokgahamada) of 1942.

**Conservation Zone No. 16 (Paddy Land)**

The paddy land called Erambadeniya Mahawatta Yaya depicted as Lot No. 25 and 10 extending towards the North, East, South and West boundaries in the Final Village Plan No. 287 (Dehigastalawa) of 1934.

**Conservation Zone No. 17 (Paddy Land)**

The paddy land called Mahawatta Yaya depicted as Lot No. 23, 9 and 20 in the Final Village Plan No. 287 (Dehigastalawa) of 1934 and Lot No. 83 in the Final Village Plan No. 482 (Gorokgahamada) of 1942 extending towards the North, East, South and West boundaries of the paddy land.

**Conservation Zone No. 18 (Paddy Land)**

The paddy land called Pusoluthanna Yaya depicted as Lot No. 25 extending towards the North, East, South and West boundaries of Final Village Plan No. 289 (Kirimatitanna) of 1938.

**Conservation Zone No. 19 (Paddy Land)**

The paddy land called Hindadeniyaya, Hapugaha Arawa and Peella Kumbura depicted as Lot No. 25 and 29 extending towards the North, East, South and West boundaries in the Final Village Plan No. 289 (Kirimatithanna) of 1938.

**Conservation Zone No. 20 (Paddy Land)**

The paddy land called Omara Kumbura and Bamma Kumbura Yaya depicted as Lot No. 318 and 327 extending towards the North, East, South and West boundaries in the Final Village Plan No. 288 Ellepola.

**Conservation Zone No. 21 (Paddy Land)**

The paddy land called Delgahayata Liyadda, Kukulawatta Arawa, Deniyaya Yaya depicted as Lot No. 192, 185, 182 and 180 extending towards the North, East, South and West boundaries of Final Village Plan No. 288 (Ellepola) of 1938.

**Conservation Zone No. 22 (Paddy Land)**

The paddy land called Puwakgasyaya depicted as Lot No. 293, 290 and 205 extending towards the North, East, South and West boundaries of Final Village Plan No. 288 (Ellepola) of 1938.

**Conservation Zone No. 23 (Paddy Land)**

The paddy land called Maligatanna depicted as Lot No. 7 extending towards the North, East, South and West boundaries of Final Village Plan No. 292 (Thalangama) of 1932.

**Conservation Zone No. 24 (Paddy Land)**

The paddy land called Maligatanna depicted as Lot No. 284 extending towards the North, East, South and West boundaries in the Final Village Plan No. 288 (Ellepola) of 1932.

**Conservation Zone No. 25 (Paddy Land)**

The paddy land called Galbamma Kumbura Yaya depicted as Lot No. 49 extending towards the North, East, South and West boundaries in the Final Village Plan No. 288 (Ellepola) of 1938.

**Conservation Zone No. 26 (Paddy Land)**

The paddy land called Lindamulla Yaya and Waway Kumbura depicted as Lot No. 57 extending towards the North, East, South and West boundaries in the Final Village Plan No. 288 (Ellepola) of 1938.

**Conservation Zone No. 27 (Paddy Land)**

The paddy land called Menikhena Yaya depicted as Lot No. 30 extending towards the North, East, South and West boundaries in the Final Village Plan No. 288 (Ellepola) of 1938.

**Conservation Zone No. 28 (Paddy Land)**

The paddy land called Menikhena Yaya depicted as Lot No. 28 extending towards the North, East, South and West boundaries in the Final Village Plan No. 482 (Gorokgaha Oya) of 1942.

**Conservation Zone No. 29 (Paddy Land)**

The paddy land called Arawa Kumbura and Dik Arawa depicted as Lot No. 23 and 21 extending towards the North, East, South and West boundaries in the Final Village Plan No. 482 (Gorokgahamada) of 1942.

**Conservation Zone No. 30 (Paddy Land)**

The paddy land called Bombuwa Kumburayaya and Galpotta Arawa lower part depicted as Lot No. 71 extending towards the North, East, South and West in the Final Village Plan No. 477 (Watakaragoda) of 1942.

**Conservation Zone No. 31 (Paddy Land)**

The paddy land called Galpotta Arawa depicted as Lot No. 54 and 40 and also paddy land called Galpotta Arawa and Bommuwa Wela (Mada Kumbura Yaya) depicted as Lot No. 27 extending towards the North, East, South and West boundaries in the Final Village Plan No. 477 (Watakaragoda) of 1942.

**Conservation Zone No. 32 (Paddy Land)**

The paddy land called Thambilikan Deniyaya depicted as Lot No. 4 and Rathovitiyaya depicted as Lot No. 8 extending towards the North, East, South and West in the Final Village Plan No. 477 (Watakaragoda) of 1940.

**Conservation Zone No. 33 (Paddy Land)**

The paddy land called Hunukumbura Wela Yaya and Rattovita depicted in Landscape Plan to a scale of 1:10,000 extending to the North, East, South and West in the Town Survey Plan No. 75/15 of 2001.

**Conservation Zone No. 34 (Paddy Land)**

The paddy land called Mahawela Yaya depicted in Landscape Plan to a scale of 1:10,000 extending to the North, East, South and West in the Town Survey Plan No. 75/15 of 2001.